

HASTINGS PLANNING COMMISSION A G E N D A

Monday August 5, 2024

1. **Call to Order/Roll Call** (Regular meeting starts at 7:00 p.m.)
2. **Pledge of Allegiance**
3. **Approval / additions / deletions to agenda**
4. **Approval of Minutes** July 1, 2024 Draft Meeting Minutes of the Planning Commission *
5. **Informative Items:** None
6. **Public Hearings:** None
7. **New Business:** Review and consider site plan for Chad Stora at 1000 Enterprise Drive.
8. **Old Business:**
 - A. Receive JPA / JPC Update.
 - B. Consider Planning Commission 2024 General Work Task List. *
 - C. Report Regarding Tracking and Terms and Conditions Imposed by the Planning Commission. *
 - D. Discuss revised zoning district consolidation. *
 - E. R1-A One Family Zoning District Staff Memo. *
9. **Open Public Discussion and Comments**
10. **Staff Comments**
11. **Commissioner Comments**
12. **Adjourn**

*Indicates attachment

CITY OF HASTINGS
PLANNING COMMISSION MEETING MINUTES
July 1, 2024

The meeting was called to order at 7:00 p.m. by Chairperson Hatfield with the following Commissioners present: Levi Bolthouse, David Hatfield, Chelsey Foster, Scott Darling, Nichole Lyke, Tom Maurer, Jacquie McLean, Sarah Moyer-Cale, and Dave Tossava.

Call to Order

Also present: Dan King, Community Development Director and Rebecca Harvey, Planning Consultant.

It was MOVED by Foster and SECONDED by Tossava to approve the agenda as presented. All members present voting yes, motion carried.

Approval of the Agenda

It was MOVED by Tossava and SECONDED by Lyke that the proposed minutes of the Regular Meeting of June 3, 2024 be approved. All members present voting yes; motion carried.

Approval of the Minutes

None.

Information

None.

New Business:

Moyer-Cale distributed the draft minutes from the June JPA meeting. It was noted that the JPC did not meet in June but plan to meet in July.

Old Business
JPA/JPC Update

King presented an update on the Work Task List.

Work Task List

King noted changes to the tracking sheet.

Tracking Terms and Conditions

King and Harvey presented two visuals demonstrating what a zoning consolidation could look like according to previous discussion by the Planning Commission. Discussion was held regarding the RR and RS districts. It was the consensus of the Planning Commission to put changes to those district on hold and focus on the other zoning districts to be consolidated. King will bring additional information about the R1-A district for discussion at the August meeting.

Zoning District Consolidation

None.

Public Comment

None.

Staff Comments

Chairperson Hatfield stated that Tom Maurer would be submitting his resignation prior to the August meeting and thanked him for his many years of service to the Planning Commission. Other commissioners also expressed their thanks for Mr. Maurer. Bolthouse asked about the Gren

Commission Comments

Adjournment

It was MOVED by Foster and SECONDED by Lyke to adjourn the meeting. All members present voting yes, motion carried. Meeting adjourned at 8:50 p.m.

Respectfully submitted,

Sarah Moyer-Cale,
Secretary



MCKENNA

August 5, 2024

Planning Commission
City of Hastings
201 East State Street
Hastings, MI 49058

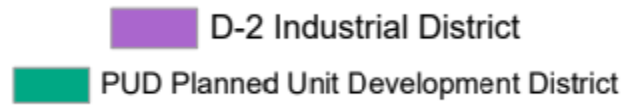
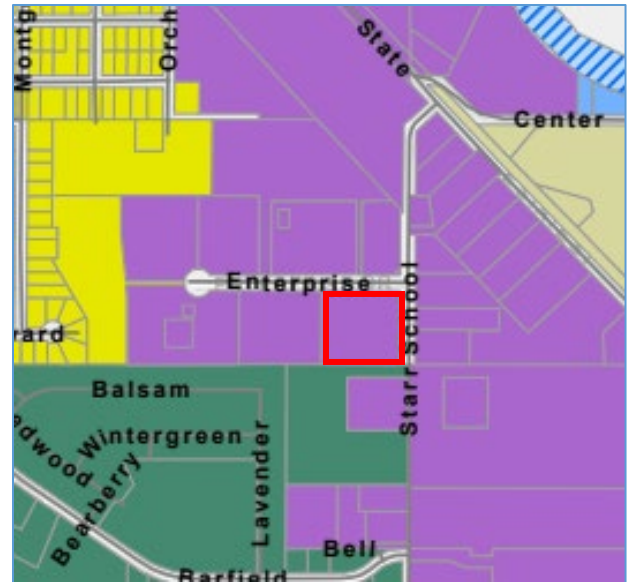
Applicant: Chad Stora
Stora Storage

Property: 1000 Enterprise Drive

Zoning: D-2 Industrial District

Request: *Site Plan Review* – for a proposed ‘mini warehouse/self-storage facility’

Zoning Map



Application Overview

- The subject site consists of approximately 3.8 acres and is provided 423 ft of frontage on Enterprise Drive and 400 ft of frontage on Star School Road.
- The subject site is currently undeveloped.
- Applicant proposes the establishment of a ‘warehouse/storage facility’ on the subject site. Phase 1 is proposed to consist of a 60 ft x 240 ft storage building (housing 10 separate 1440 sq ft warehouse/storage units) and related drive/site improvements; Phase 2 is



WEST MICHIGAN
151 South Rose Street
Suite 190
Kalamazoo, Michigan 49007

☎ 269.382.4443
☎ 248.596.0930
MCKA.COM

Communities for real life.

proposed to consist of a second 60 ft x 240 ft storage building, to be located east of and parallel to the Phase 1 storage building.

- The proposed ‘warehouse/storage facility’ is a Permitted Use within the D-2 District. (Section 90-552 (a) – ‘warehousing, storage or transfer buildings, but excluding the storage of bulk petroleum or related products, garbage or rubbish.’)
- A review of the proposal shall be guided by **Sections 90-579-581– D-2 District Regulations & Site Development Standards** and **Section 90-131 – Site Plan Review Standards**.

Site Plan Review:

Section 90-579 D-2 District Regulations

	Permitted/Required	Proposed
Min Lot Size	None	Approximately 3.8 acres
Min Lot Width	None	423 ft
Min Building Setbacks	Front (Enterprise Dr) – 25 ft Front (Star School Rd) – 25 ft Side (west) – 25 ft Rear (south) – 49 ft (2x bldg ht)	Front – 100 ft Front - >100 ft Side – 35 ft Rear – 40 ft
Max Building Height	40 ft	24 ft 6 in
Max Lot Coverage	40%	Unknown
Landscaping	Landscaping per Article XII required where D-2 District abuts the PUD District (south boundary)	Unknown

Section 90-580 D-2 District Site Development Standards

Required	Proposed
All storage w/in enclosed building . . or w/in area enclosed by a 6 ft solid fence, wall or green belt	Outdoor storage has not been proposed.



Operation of industrial equipment subject to 75 decibels limit at nearest occupied dwelling.	N/A*
Operations that involve repair/storage of damaged vehicles subject to haz-mat containment measures.	N/A*
No discernable vibration to off-site occupants.	N/A*
<i>*Use is proposed as 'warehouse/storage facility'; other types of uses will require approval pursuant to Sections 90-577 or 90-578.</i>	

Section 90-581 D-2 District Additional Regulations

Section 90-132 – Access

- Applicant proposes access to the site through a single, 2-way, 33 ft-wide asphalt drive off Enterprise Drive. – *compliance noted*
- The site plan does not indicate driveway spacing from the intersection (100 ft required) or driveway spacing from other driveways (based on speed limit – minimum of 125 ft). – **compliance cannot be confirmed**



Article X - Off-Street Parking

- Required Parking
 - Warehouse – 1 space/2000 sq ft: 14,400/2000 = 8 parking spaces required
 - Office – 1 space/200 sq ft: 800/200 = 4 parking spaces required
 - 12 parking spaces required; 12 parking spaces proposed – *compliance noted*



- 1 barrier free parking space required; **no barrier-free parking provided**
- Proposed parking lot meets parking space and drive aisle layout, dimensional and surface requirements. – *compliance noted*
- Loading/Unloading
 - A 60 ft wide crushed stone driveway is proposed to extend in between the 2 proposed storage buildings and will provide access to the overhead doors serving each storage unit.
 - Per Sec 90-916, ‘access aisles, driveways and loading/unloading areas’ are considered to be part of the ‘parking area’ . . **and subject to the design/paved surface requirements of Article X.**
 - Access, parking and loading/unloading within the ‘crushed stone driveway’ have not been detailed. – **compliance cannot be confirmed.**
- **The storm water drainage proposal shall be subject to Public Services review/approval.**
- Outdoor lighting shall be arranged to prevent light spillover onto adjacent properties or roadways. A lighting plan has not been provided. – **compliance cannot be confirmed**
- Detail of the proposed diesel tank storage area, refuse dumpster area, and retaining wall is lacking. – **compliance cannot be confirmed**

Article XI – Signs

- **Any sign proposal shall be subject to compliance with applicable Zoning Ordinance requirements and shall be reviewed/approved through the permit process. (See Section 90.965)**

Article XII - Landscaping

- Per Sec 90-1009/1010, the Buffer Zone A requirements shall apply along the south property line where it abuts PUD zoning. – **compliance cannot be confirmed**



- Section 90-1011 requires front yard (north/east) landscaping to consist of 11 canopy trees, 22 evergreen trees, 11 ornamental trees and 44 shrubs. – **compliance cannot be confirmed**
- Landscaping and buffer plantings shall be subject to the planting and species standards of Sections 90-1013 and 1014.
- **Per Section 90-1007, the Planning Commission may modify the landscaping/screening requirements in consideration of retention of on-site vegetation and adjacent land uses.**

□ Summary of Findings:

- **The following elements of the site plan require attention:**
 - Demonstration of compliance with:
 - 49 ft rear (south) setback requirement
 - 40% max lot coverage standard
 - Driveway spacing standards
 - Barrier-free parking requirements
 - Access drive (aisle) surface and circulation requirements
 - Refuse disposal area, diesel tank area and retaining wall design detail is lacking
 - A lighting plan is required to determine compliance with outdoor lighting standards.
 - A landscaping/screening plan is required to determine compliance with standards.
- Any sign proposal shall be subject to compliance with applicable Zoning Ordinance requirements and shall be reviewed/approved through the permit process.
- Approval shall be subject to review/approval by the City of Hastings Fire Department and Department of Public Services (DPS).





Application for Planning Commission

City of Hastings
Hastings, MI 49058
269-945-2468



Date: July 11th 2024

Applicant Name: STORA (Last) CHAD (First) N (M.I.)
Address: 7734 BOWENS MILL RD (Street) Middleville MI 49333 (City, State, Zip)
Telephone: _____ (Business) (016) 250-9086 (Cellular)
Email: Chad@Storaconstruction.com

Applicants Interest in Property: _____

Owners Name (if Different From Above): _____

Request:

- Rezoning
- Site Plan Review
- Other: _____
- Special Use Permit
- PUD
- Plat or Condo
- PUD Phase Approval

Address of Property: 1000 Enterprise DR.

Legal Description: Attached

Current Zoning: D-2 Proposed Zoning: D-2

Applicable Fees: \$1,700.00

Applicants Signature: [Signature]

Staff Signature: [Signature] Opp/TA (Title) 7/12/24 (Date)

Office Use Only

Application Number: _____	Date Advertised: _____
Filing Date: <u>7-12-24</u>	Date of Meeting: <u>8-5-24</u>
Fees Paid: <u>\$1,700.00</u>	Board Action: _____
To Clerks Office On: _____	Effective Date: _____

COMM AT THE NE COR OF SEC 20 T3N-R8W CITY OF HASTINGS, TH S 00 DEG 14'08"W
1318.27 FT ALG THE E LI OF SD SEC 20, TH N 89 DEG 57'37"W 50.00 FT TO THE W'LY ROW LI
OF STAR SCHOOL RD AND THE TRUE POB; TH N 89 DEG 57'37"W 423.00 FT, TH N 00 DEG
14'08"E 400.00 FT TO THE S'LY ROW LINE ENTERPRISES DR, TH S 89 DEG 57'37"E 423.00 FT
ALG SD S'LY LINE, TH S 00 DEG 14'08"W 400.00 FT ALG SD W'LY ROW LINE OF STAR SCHOOL
RD TO THE POB. CONT. 3.88 AC. SUBJECT TO AN EASEMENT FOR PUBLIC UTILITIES
PURPOSES OVER THE N'LY 10 FT AND E'LY 10 FT THEREOF. THE E'LY LINE OF SD PARCEL IS A
LIMITED ACCESS LINE; VEHICLE AND DRIVEWAY ACCESS IS PERMITTED FROM ENTERPRISE
DR ONLY.

CITY OF HASTINGS
201 E STATE STREET
HASTINGS MI 49058-1954

Receipt No: 1.148923

Jul 12, 2024

CHAD STORA

CHARGES FOR SERVICES - APPLICATION FEE (IE BEIG) CHAD STORA PLANNING COMISSION APPLICATION FEE 1000 ENTERPRISE DR 101-100-648-000 Application Fees 250.00

CHARGES FOR SERVICES - APPLICATION FEE (IE BEIG) CHAD STORA STORM WATER REVIEW 1000 ENTERPRISE DR 101-100-648-000 Application Fees 200.00

CHARGES FOR SERVICES - APPLICATION FEE (IE BEIG) CHAD STORA ESCROW 1000 ENTERPRISE DR 101-100-648-000 Application Fees 1,250.00

Total: 1,700.00

CHECK Check No: 598 1,700.00
Payor: CHAD STORA

Total Applied: 1,700.00

Change Tendered: .00

Duplicate Copy

07/12/2024 10:03 AM

DRAWING LIST		07/10/2024	ISSUE FOR PLANNING				
ARCHITECTURAL							
G-001	GENERAL INFORMATION, PLOT PLAN, SURVEY	X					
DM-001	EXCAVATION & DEMOLITION PLAN	X					
A-001	SITE PLAN	X					
A-100	FIRST FLOOR AND ROOF PLANS	X					
A-110	FIRST FLOOR RCP AND LIGHTING SCHEDULE	X					
A-200	ELEVATIONS	X					
A-900	PARTITION TYPES, SCHEDULES, TYP SECTION DETAIL	X					

STORA STORAGE

1000 ENTERPRISE DR
HASTINGS, MI 49058

ISSUE FOR PLANNING REVIEW
07/10/2024

GENERAL NOTES

GENERAL CONSTRUCTION NOTES

- ALL WORK AND MATERIALS FURNISHED SHALL COMPLY WITH THE STATE OF MICHIGAN BUILDING CODE. THE STATE OF MICHIGAN FIRE CODE, THE STATE OF MICHIGAN REGULATIONS, THE REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, NATIONAL FIRE PROTECTIVE ASSOCIATION REQUIREMENTS AND ALL FEDERAL, STATE, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- ALL OF THE ARCHITECT'S DRAWINGS AND CONSTRUCTION NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE DRAWING SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DRAWINGS.
- FULL SIZE FOR LARGE SCALE DETAILS OR DRAWINGS SHALL GOVERN SMALL SCALE DRAWINGS WHICH THEY ARE INTENDED TO AMPLIFY.
- ALL MATERIALS REQUIRED FOR THE PERFORMANCE OF THIS WORK SHALL BE NEW AND OF THE BEST QUALITY OF THE KINDS SPECIFIED. THE USE OF OLD OR SECOND HAND MATERIALS IS STRICTLY FORBIDDEN, EXCEPT FOR LOCATIONS ON THE DRAWINGS THAT REFER TO REMOVAL AND RELOCATION OF MATERIALS OR EQUIPMENT. MATERIALS SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT ALL PRODUCT WARRANTIES.
- THE CONTRACTOR WILL WARRANTY ALL WORK AS PER MICHIGAN STATE REGULATIONS.
- THE PREMISES AND JOB SITE SHALL BE MAINTAINED IN A REASONABLY NEAT AND ORDERLY CONDITION AND KEPT FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH DURING THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL REMOVE ALL CRATES, CARTONS AND OTHER TRASH FROM THE WORK AREAS EACH DAY, AND SHALL BE RESPONSIBLE FOR ITS PROPER DISPOSAL. THE PREMISES SHALL BE PROTECTED THROUGHOUT CONSTRUCTION AND SHALL BE TURNED OVER IN SPOTLESS AND ORDERLY CONDITION. ALL FIXTURES AND EQUIPMENT WILL BE LEFT IN UNDAMAGED, BRIGHT, CLEAN AND POLISHED CONDITION.
- ALL PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE BUILDING, ITS OCCUPANTS, AND THE GENERAL PUBLIC DURING CONSTRUCTION.
- THE CONTRACTOR WILL ABIDE BY ALL RULES AND REGULATIONS SET FORTH BY THE BUILDING'S LEGAL MANAGEMENT AGENT NOTING PARTICULARLY ANY RESTRICTIONS ON NOISE, USE OF PUBLIC ENTRIES, USE OF POWER TOOLS, TIMELY AND PROPER DEBRIS REMOVAL, MATERIALS STORAGE AND ESTABLISHED WORKING HOURS.
- DIMENSIONS SHOWN ARE TO FINISHED FACE OF WALLS, FLOORS AND CEILINGS UNLESS OTHERWISE NOTED.

DEMOLITION NOTES

- CONTRACTOR SHALL DEMOLISH ALL ITEMS REQUIRED TO COMPLETE THE PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR LEGALLY DISPOSING OF ALL DEBRIS, SURPLUS MATERIALS AND RUBBISH RESULTING FROM DEMOLITION AND CONSTRUCTION.
- CONTRACTOR MUST EXERCISE EXTREME CAUTION DURING DEMOLITION PROCEDURES, AND IS RESPONSIBLE FOR PROVIDING ANY BRACING, SHORING, ETC. NECESSARY TO PREVENT DAMAGE TO THE BUILDING.
- REMOVALS AS SHOWN ON DRAWINGS SHOULD BE CAREFULLY EXECUTED SO AS TO PROTECT STRUCTURAL MEMBERS OR OTHER ELEMENTS OF CONSTRUCTION TO REMAIN.
- CONTRACTOR SHALL MAKE PROBES AT ALL PARTITIONS AND CEILINGS (IF REQUIRED) IN ADVANCE OF REMOVALS IN ORDER TO AVOID DEMOLITION OF ANY HIDDEN STRUCTURAL MEMBERS.

FIRE SAFETY RULES

- ALL BUILDING MATERIALS STORED AT THE CONSTRUCTION AREA AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY THE GENERAL CONTRACTOR.
- ALL MATERIALS ARE TO BE STORED IN AN ORDERLY MANNER.
- ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE CONTAINERS. SUCH MATERIALS ARE TO BE KEPT AWAY FROM ALL HEAT SOURCES AND STORED IN AN ADEQUATELY VENTILATED SPACE.
- ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE IS EXPOSED CONDUIT.
- ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS.
- THE CONTRACTOR WILL, AT ALL TIMES, MAKE SURE THAT THERE IS NO LEAKAGE OF NATURAL GAS IN THE BUILDING OR ANY FLAMMABLE GAS USED IN CONSTRUCTION.

DEMOLITION NOTES

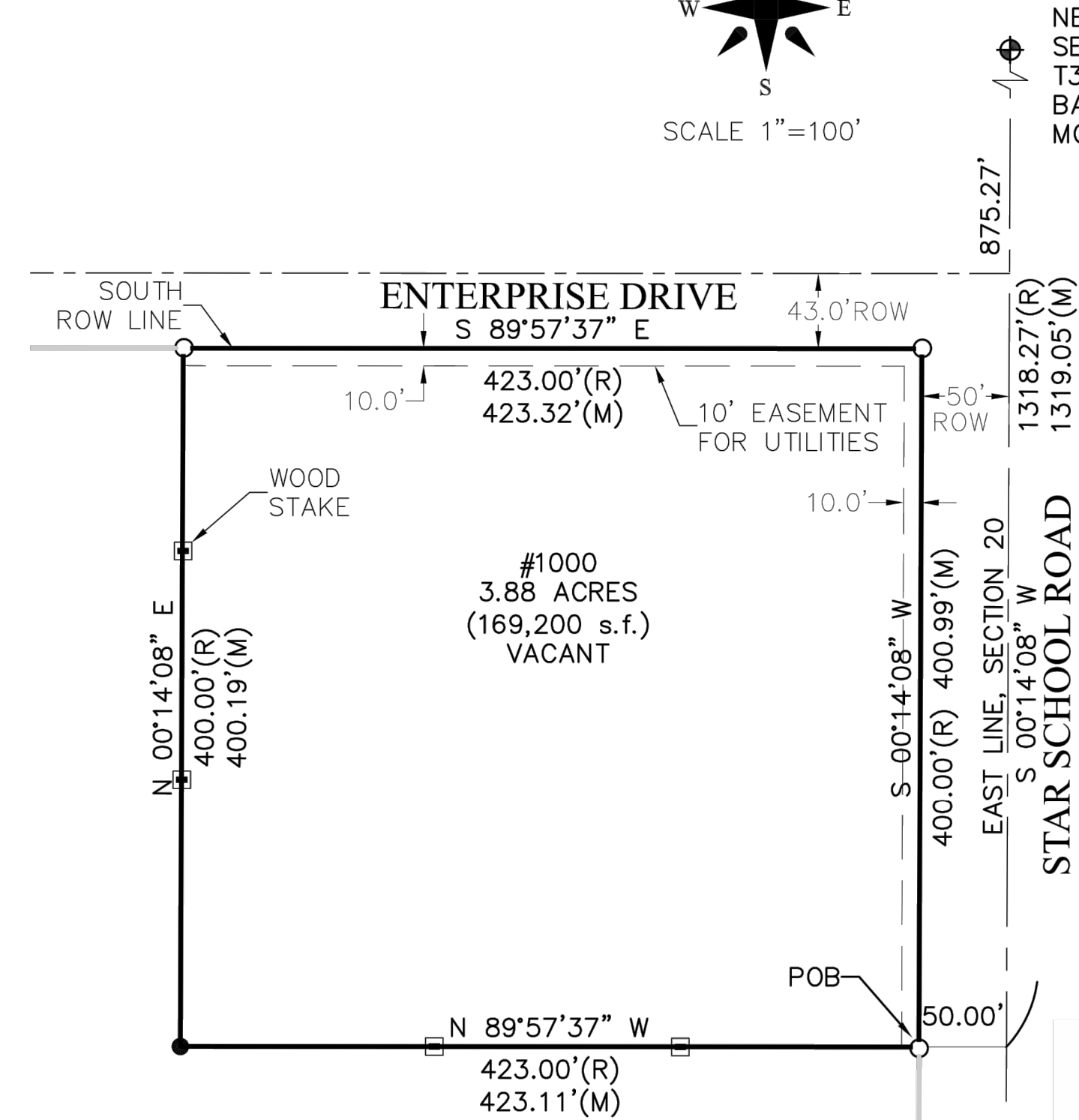
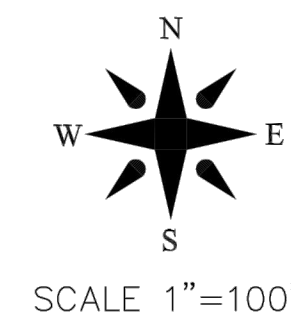
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BOUNDARY SURVEY

CLIENT: Chad Stora
7736 Bowens Mill Rd
Middleville, Mi 49333

SITE: 1000 Enterprise Dr
Hastings, Mi 49058

Legal Description:
Commencing at the Northeast corner of Section 20, Town 3 North, Range 8 West; thence South 00 degrees 14 minutes 08 seconds West, 1318.27 feet along the East line of said Section 20; thence North 89 degrees 57 minutes 37 seconds West, 50.00 feet to the Westerly Right of Way line of Star School Road and the true Point of Beginning; thence North 89 degrees 57 minutes 37 seconds West, 423.00 feet; thence North 00 degrees 14 minutes 08 seconds East, 400.00 feet to the Southerly Right of Way line of Enterprise Drive; thence South 89 degrees 57 minutes 37 seconds East, 423.00 feet along said Southerly line; thence South 00 degrees 14 minutes 08 seconds West, 400.00 feet along said Westerly Right of Way line of Star School Road to the Point of Beginning



I, Paul E. Schutter, a Professional Surveyor in the State of Michigan, hereby certify that I have surveyed the land described and that said land is a true representation of the survey performed showing all visible improvements. The survey was performed with a field closure of 1' in 5000' or greater. All dimensions are in feet and decimals thereof. Bearings are assumed.

SCHUTTER SURVEYING PLLC
7081 CHERRY VALLEY AVE. SE
CALEDONIA MI, 49316
616-570-4443
SchutterSurveying.com

PROJECT NO: 24028 3-8-20
DATE: April 10, 2024

THIS SURVEY WAS COMPLETED USING THE LEGAL DESCRIPTION PROVIDED AND SHOULD BE COMPARED WITH THE TITLE WORK FOR ANY ERRORS, DISCREPANCIES OR EASEMENTS OF RECORD.

- LEGEND**
- FENCE
 - FOUND CORNER
 - SET CORNER

SYMBOLS

- ROOM NUMBER: 101 | 1,978 SF
- MATERIAL FINISH TYPE: CO-5
- WALL TYPE: A
- DATUM SYMBOL: 2'-0"
- NORTH ARROW: N
- DETAIL CALL-OUT: 100
- GRID LINE MARKERS: 1, 2, 2
- INTERIOR ELEVATION SYMBOL: A000 2
- EXTERIOR ELEVATION SYMBOL: 00 A000
- DETAIL SECTION: 00 A000
- SECTION: 00-A000
- FINISH FLOOR LEVEL: 15'-0" TOP OF SLAB
- FINISH SLAB LEVEL: 00-A000
- DOOR NUMBER: 102
- MATCH SYMBOL: 100
- BREAK LINE: 100
- (REVISION NUMBER): A
- MILLWORK TYPE: M-01
- FURNITURE TYPE: F01
- EQUIPMENT TYPE: E01
- SHELVING TYPE: S01
- GLAZING TYPE: 600V
- FLOOR TRANSITION STRIP: 100-1, 100-2
- EXIT SIGN: 100

MATERIAL SYMBOLS

- LOOSE GRAVEL
- COMPACTED EARTH
- CAST-IN-PLACE CONCRETE
- STEEL
- ALUMINUM
- BATT INSULATION
- GYPSUM WALL BOARD
- RIGID INSULATION
- PLYWOOD
- LUMBER
- WOOD BLOCKING
- MEDIUM DENSITY FIBER-BOARD
- GLASS AGGREGATE
- UNIT PAVERS
- RUBBER SEALANT
- CROSS LAMINATED TIMBER

ABBREVIATIONS

- A.F.F. ABOVE FINISHED FLOOR
- AGGR. AGGREGATE
- ALUM. ALUMINUM
- L. ANGLE
- APPROX. APPROXIMATE
- ARCH. ARCHITECTURAL
- A.D. AREA DRAIN
- ADJ. ADJACENT
- ASB. ASBESTOS
- @ AT
- BM. BEAM
- BLK. BLOCK
- BLKG. BLOCKING
- BD. BOARD
- B.D. BOTTOM OF
- BOT. BOTTOM
- BLDG. BUILDING
- CAB. CABINET
- CIP. CAST IN PLACE
- C.L. CENTER LINE
- CLKG. CAULKING
- CLG. CEILING
- CLR. CLEAR
- CTR. CENTER
- CLD. CLOSET
- CLT. CROSS LAMINATED TIMBER
- COL. COLUMN
- CONC. CONCRETE
- CONN. CONNECTION
- CONSTR. CONSTRUCTION
- CONT. CONTINUOUS
- CDRR. CORRIDOR
- CNTR. COUNTER
- DBL. DOUBLE
- DEPT. DEPARTMENT
- DET. DETAIL
- DIA. DIAMETER
- DIM. DIMENSION
- D.O. DOOR OPENING
- DN. DOWN
- DWG. DRAWING
- (E) EXISTING
- EA. EACH
- E. EAST
- ELEC. ELECTRICAL
- E.P. ELECTRICAL PANEL
- BOARD BOARD
- ELEV. ELEVATION
- EMER. EMERGENCY
- ENCL. ENCLOSURE
- EQ. EQUAL
- EQPT. EQUIPMENT
- EXIST. EXISTING
- EXP. EXPANSION
- E.J. EXPANSION JOINT
- EXPO. EXPOSED
- EXT. EXTERIOR
- F.D. FACE OF
- F.D.C. FACE OF CONCRETE
- F.D.F. FACE OF FINISH
- F.D.S. FACE OF STUDS
- FT. FEET
- F.A. FIRE ALARM
- F.PRF. FIRE PROOF
- F.B. FLAT BAR
- FL. FLOOR
- F.D. FLOOR DRAIN
- FLUOR. FLUORESCENT
- FT. FOOT
- FDN. FOUNDATION
- F.S. FULL SIZE
- FURR. FURRING
- FUT. FUTURE
- GALV. GALVANIZED
- GA. GAUGE
- GL. GLASS
- G.B. GRAB BAR
- G.FRC. GLASS FIBER REINFORCED CONCRETE
- GR. GRADE
- GND. GROUND
- GYP. GYPSUM
- G.W.B. GYPSUM WALLBOARD
- HC. ACCESSIBLE
- HDWD. HARDWOOD
- H.M. HOLLOW METAL
- HORIZ. HORIZONTAL
- H.B. HOSE BIBB
- HR. HOUR
- HWR. HOT WATER RETURN
- HWS. HOT WATER SUPPLY
- I.D. INSIDE DIAMETER
- IGU. INSULATED GLASS UNIT
- INSUL. INSULATION
- INT. INTERIOR
- JT. JOINT
- LAM. LAMINATE
- LAV. LAVATORY
- LT. LIGHT
- MAX. MAXIMUM
- MECH. MECHANICAL
- MTL. METAL
- MIN. MINIMUM
- MIR. MIRROR
- MISC. MISCELLANEOUS
- MTD. MOUNTED
- MUL. MULLION
- NOM. NOMINAL
- N. NORTH
- N.I.C. NOT IN CONTRACT
- N.T.S. NOT TO SCALE
- # NUMBER
- DBS. OBTSCURE
- OFF. OFFICE
- O.C. ON CENTER
- O.H. OPPOSITE HAND
- OPNG. OPENING
- OPP. OPPOSITE
- O.D. OUTSIDE DIAMETER
- O.A. OVERALL
- PR. PAIR
- PTN. PARTITION
- PLAS. PLASTER
- P. LAM. PLASTIC LAMINATE
- PL. PLATE
- PLYWD. PLYWOOD
- PT. POINT
- PTD. PAINTED
- PRCST. PRECAST
- Q.T. QUARRY TILE
- RAD. RADIUS
- R.W.L. RAIN WATER LEADER
- REF. REFERENCE
- REFR. REFRIGERATOR
- REGTR. REGISTER
- REINF. REINFORCED
- REQ. REQUIRED
- RESIL. RESILIENT
- RM. ROOM
- R.O. ROUGH OPENING
- S.N.D. SANITARY NAPKIN DISPENSER
- S.D.R. SANITARY NAPKIN RECEPTACLE
- SCHED. SCHEDULE
- SCD. SEE CONSULTANT DRAWINGS
- SECT. SECTION
- SED. SEE ELECTRICAL DRAWINGS
- S.S. STAINLESS STEEL
- S.S.K. SERVICE SINK
- SHT. SHEET
- SH. SHELF
- SHR. SHOWER
- SIM. SIMILAR
- S.C. SOLID CORE
- S. SOUTH
- SMD. SEE MECHANICAL DRAWINGS
- SPD. SEE PLUMBING DRAWINGS
- SPEC. SPECIFICATION
- SQ. SQUARE
- SSD. SEE STRUCTURAL DRAWINGS
- SST. STAINLESS STEEL
- STD. STANDARD
- STL. STEEL
- STR. STORAGE
- STR. STRUCTURAL
- SUSP. SUSPENDED
- SYM. SYMMETRICAL
- THK. THICK
- T.O. TOP OF
- T.O.W. TOP OF WALL
- TREAD TREAD
- TYP. TYPICAL
- UNL. UNLESS OTHERWISE NOTED
- VERT. VERTICAL
- WT. WEIGHT
- W. WEST
- W/ WITH
- W/O WITHOUT
- W.D. WOOD
- WP. WATERPROOFING

1000 Enterprise

PROJECT
**1000 ENTERPRISE DR
HASTINGS, MI 49058**

© 2024 Stora Construction

CLIENT
Chad Stora
7736 Bowens Mill Rd
Middleville, MI 49333

DESIGNER
STORA CONSTRUCTION
e: chad@storaconstruction.com
p: 616-250-9036

REVISION		
NUMBER	DESCRIPTION	DATE
01	Schematic Design	05/11/2024
02	Planning/Zoning Review	07/09/2024
03		
04		
05		
06		
07		

DRAWING TITLE
GENERAL INFORMATION

DRAWN BY: CHECK BY:

SCALE: AS NOTED DATE: 05/11/2024

SEAL: DRAWING NUMBER:
G-001.00

SHEET: 1 OF 7

SURVEY N.T.S. 2

NOTES AND ABBREVIATIONS N.T.S. 1

NOT FOR CONSTRUCTION

1000 Enterprise

PROJECT
**1000 ENTERPRISE DR
 HASTINGS, MI 49058**

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CLIENT
Chad Stora
 7736 BOWENS MILL RD
 MIDDLEVILLE, MI 49333

DESIGNER
STORA CONSTRUCTION
 e: chad@storaconstruction.com
 p: 616-250-9036

STRUCTURAL ENGINEER

MEP ENGINEER

LIGHTING DESIGNER

REVISION		
NUMBER	DESCRIPTION	DATE
01	Schematic Design	05/11/2024
02	Planning/Zoning Review	07/09/2024
03		
04		
05		
06		
07		

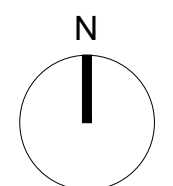
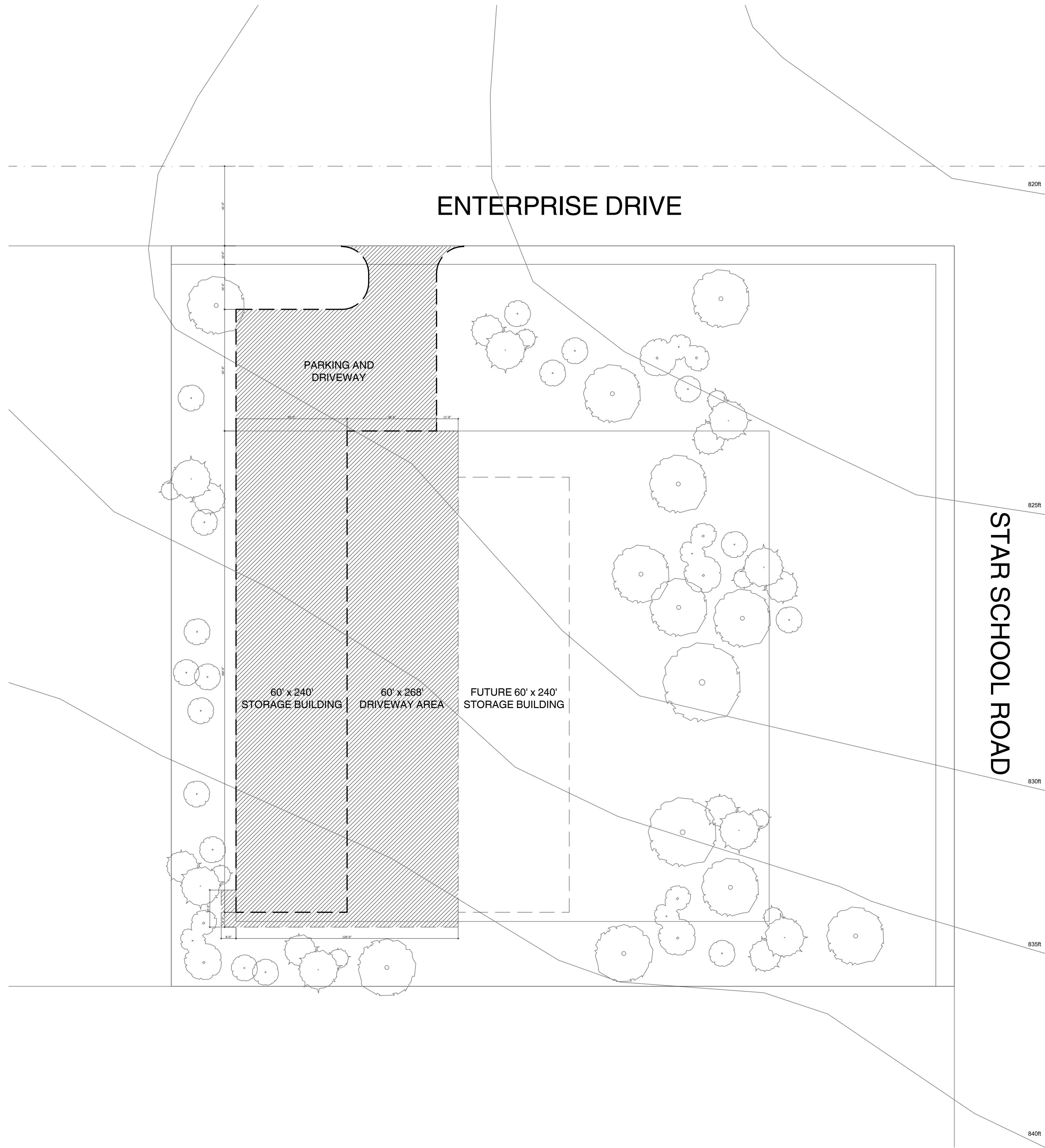
DRAWING TITLE
EXCAVATION SITE PLAN

DRAWN BY:	CHECK BY:
SCALE: AS NOTED	DATE: 05/11/2024

SEAL:	DRAWING NUMBER:
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D-001.00

SHEET: 2 OF 7



EXCAVATION SITE PLAN

1/32"=1'-0"

1

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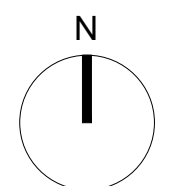
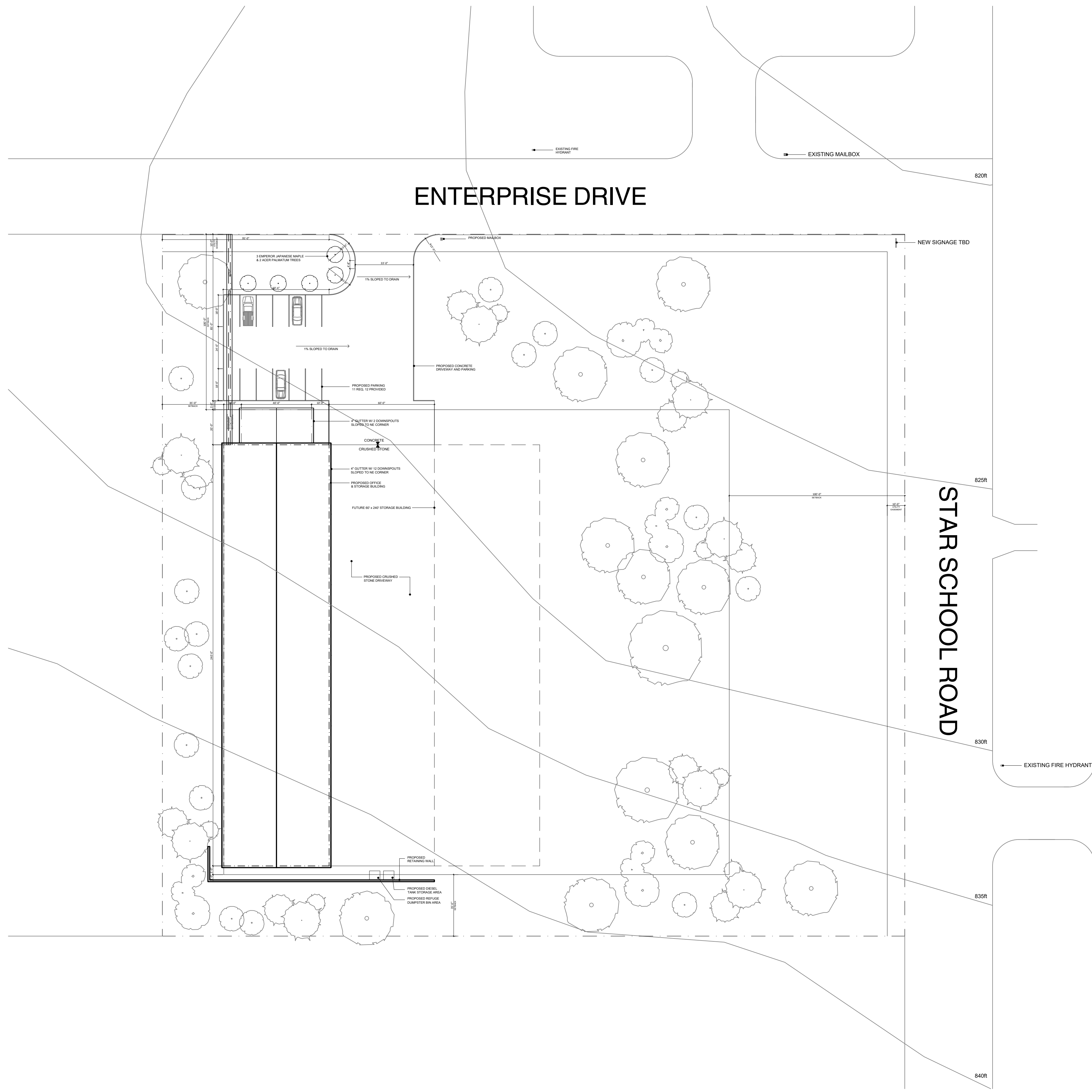
DRAWING TITLE
SITE PLAN

DRAWN BY: _____ CHECK BY: _____
 SCALE: AS NOTED DATE: 05/11/2024

SEAL: _____ DRAWING NUMBER:

A-001.00

SHEET: 3 OF 7



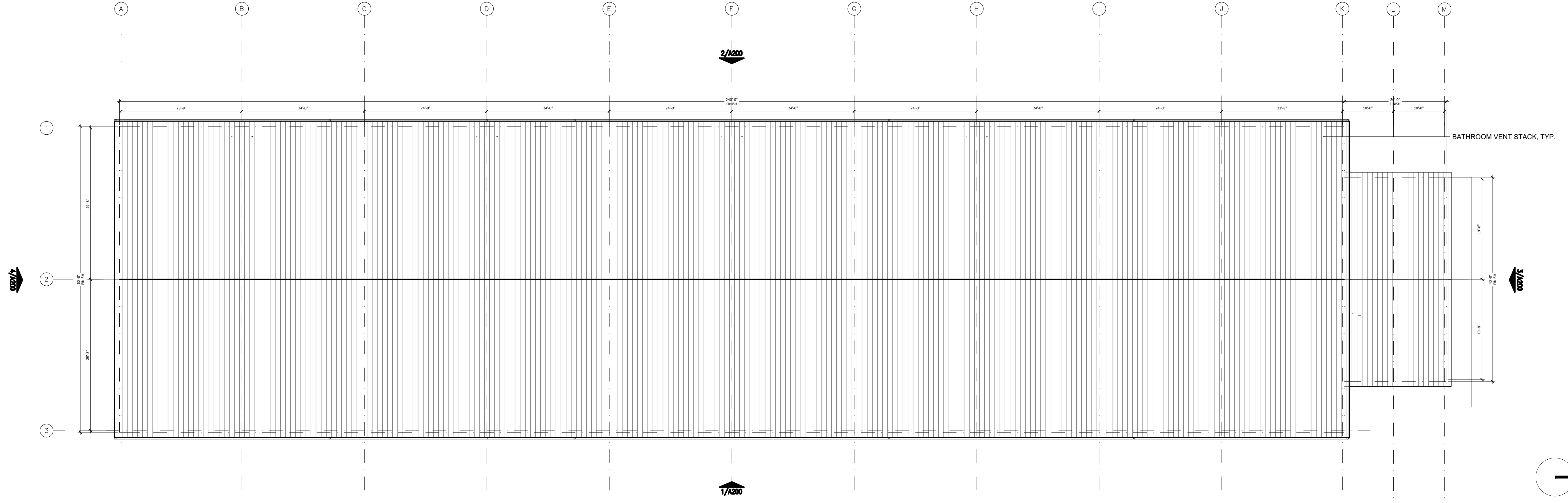
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PROJECT
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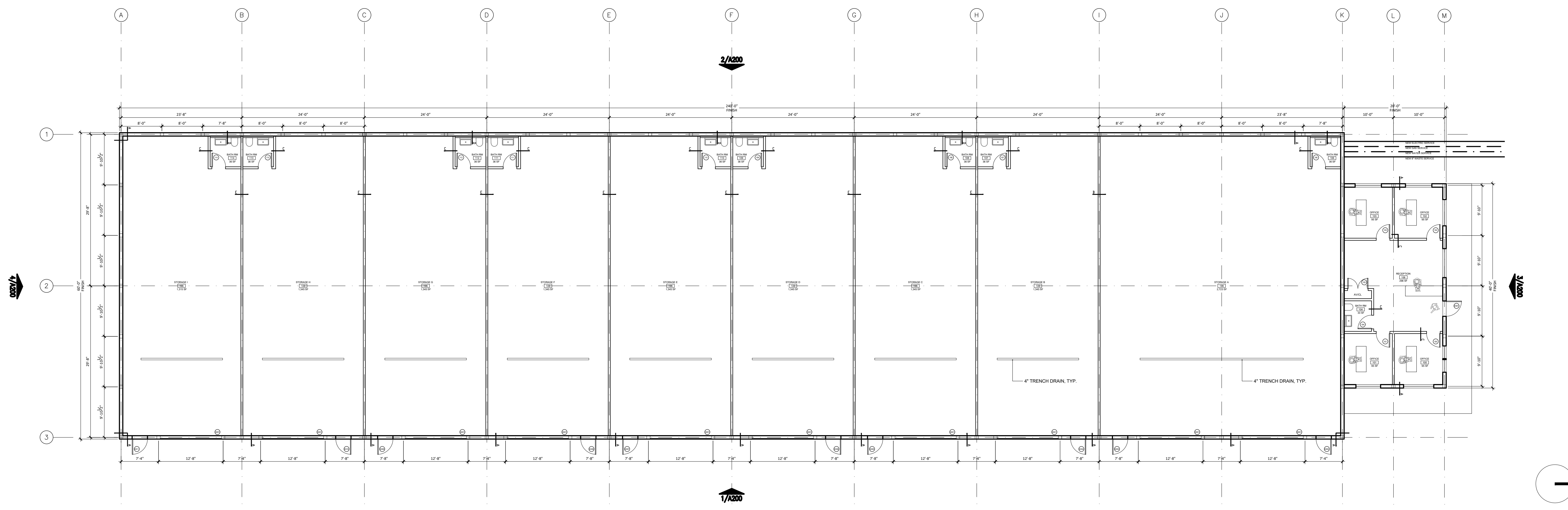
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DESIGNER
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 e: chad@storaconstruction.com
 p: 616-250-9036



ROOF PLAN 3/32"=1'-0" 2



FIRST FLOOR PLAN 3/32"=1'-0" 1

REVISION		
NUMBER	DESCRIPTION	DATE
01	Schematic Design	05/11/2024
02	Planning/Zoning Review	07/09/2024
03		
04		
05		
06		
07		

DRAWING TITLE:
FIRST FLOOR & ROOF PLANS

DRAWN BY: _____ CHECK BY: _____
 SCALE: AS NOTED DATE: 05/11/2024

SEAL: _____ DRAWING NUMBER

A-100.00

SHEET: 4 OF 7

NOT FOR CONSTRUCTION

LIGHTING SCHEDULE

FIXTURE #	DESCRIPTION	MANUFACTURER MODEL REFERENCE	FINISH	LAMP SPECS	MOUNTING	LOCATION	SIZE	VOLTAGE [V]	COLOR TEMPERATURE	CONTROL REQUIREMENTS	EMERGENCY REQUIREMENTS	LOCATION / RM #	NOTES	RESPONSIBILITY
L1	CEILING MOUNTED	-	WHITE	-	-	INTERIOR	-	120V	3000K	-	N/A	-	-	-
L2	RECESSED	-	WHITE	-	-	INTERIOR	-	120V	3000K	-	N/A	-	-	-
L3	PENDANT	-	WHITE	-	-	INTERIOR	-	120V	2700K	-	N/A	-	-	-
L4	WALL MOUNTED SCENCE	-	BLACK	-	-	EXTERIOR	-	120V	2700K	-	N/A	-	DUSK/DAWN SENSORS	-

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PROJECT

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HASTINGS, MI 49058

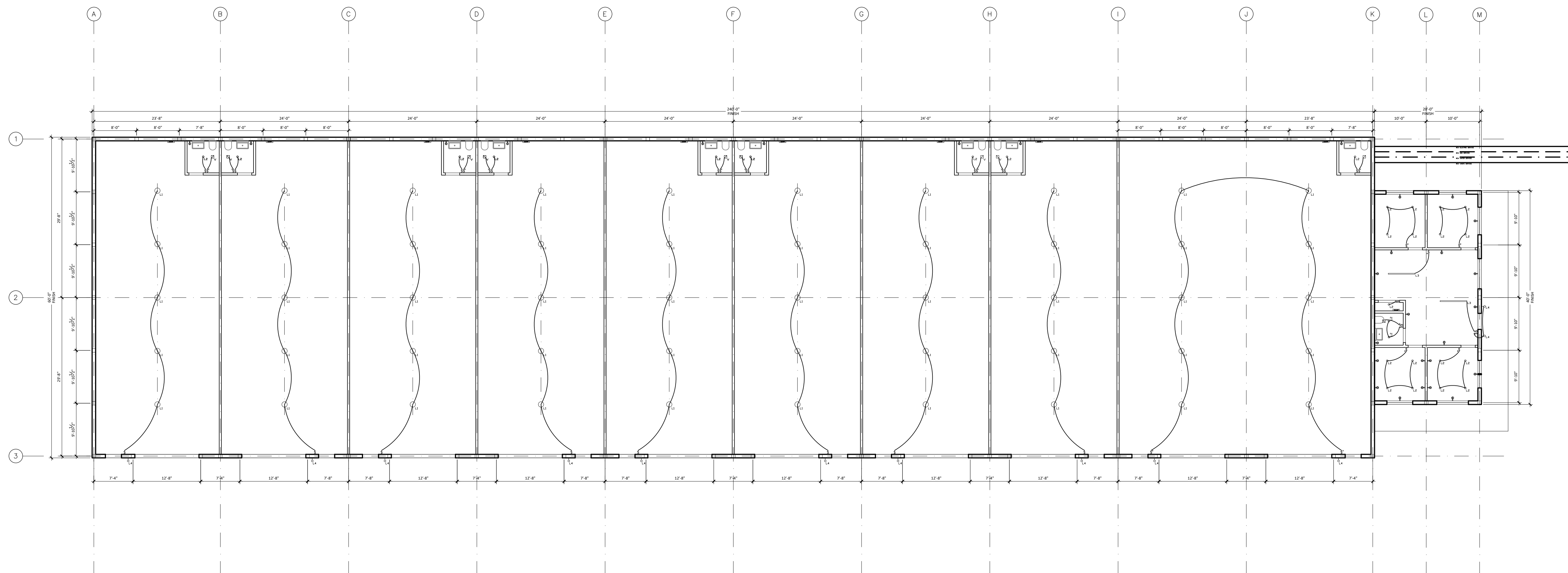
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OWNER

Chad Stora
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MIDDLEVILLE, MI 49333

DESIGNER

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e: chad@storaconstruction.com
p: 616-250-9036



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02	Planning/Zoning Review	07/09/2024
03		
04		
05		
06		
07		

DRAWING TITLE:

FIRST FLOOR RCP & SCHEDULES

DRAWN BY:

CHECK BY:

SCALE: AS NOTED

DATE: 05/11/2024

SEAL:

DRAWING NUMBER

A-110.00

FIRST FLOOR RCP

3/32"=1'-0"

1

SHEET: 6 OF 7

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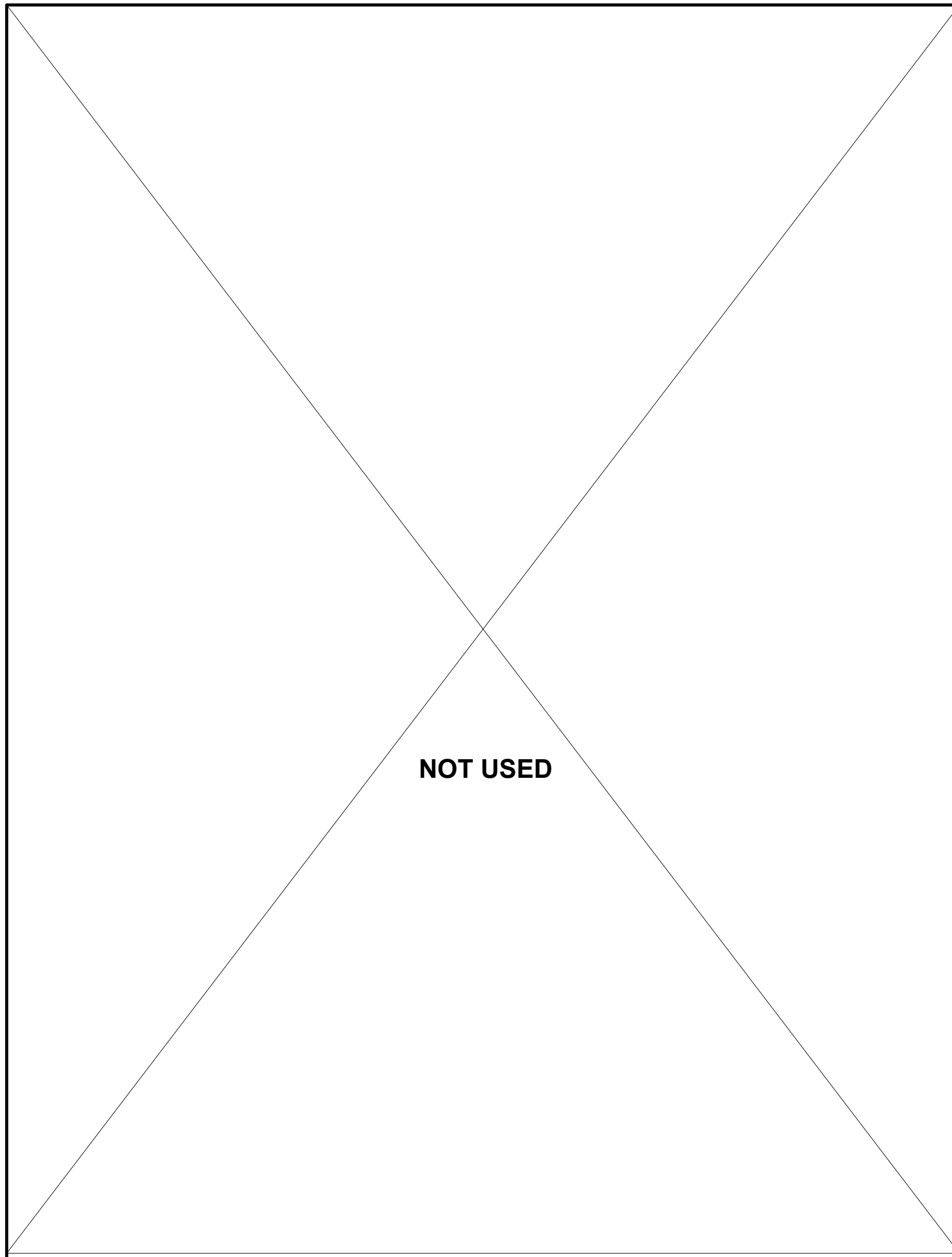
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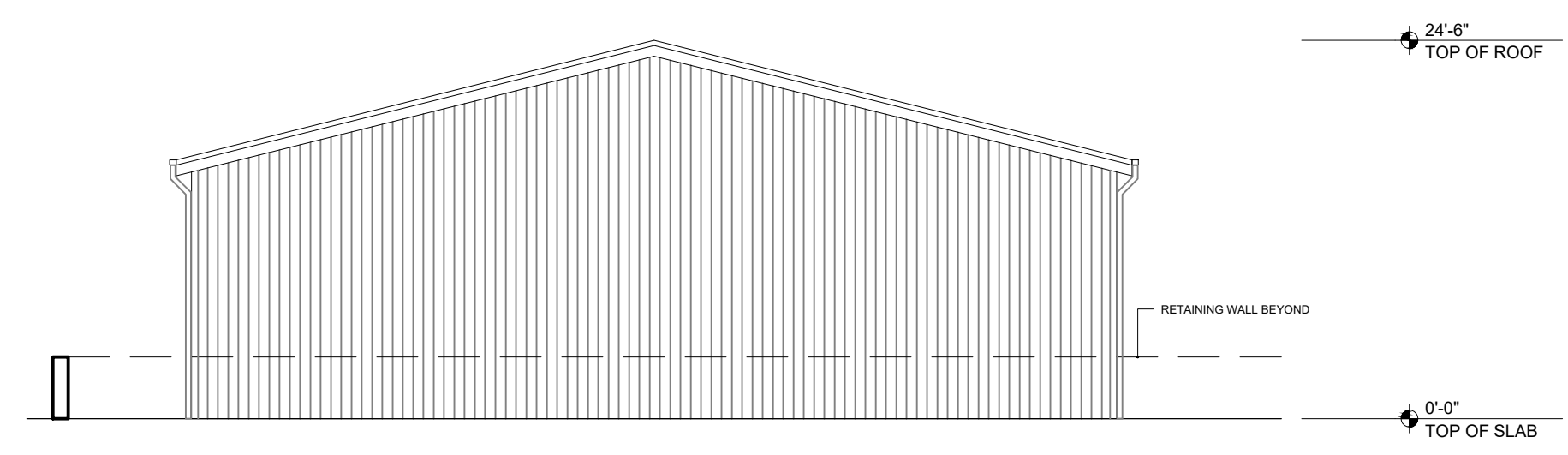
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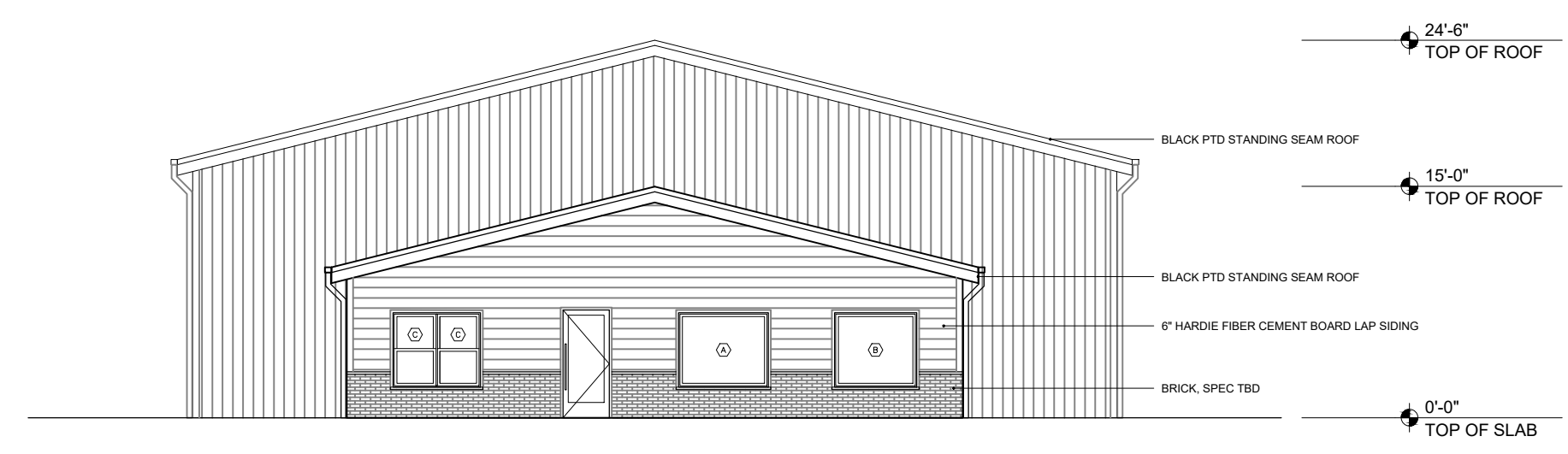
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SOUTH ELEVATION

3/32"=1'-0"

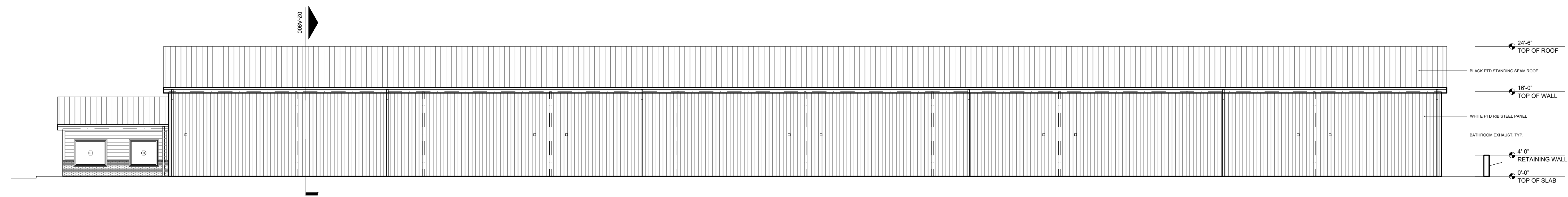
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NORTH ELEVATION

3/32"=1'-0"

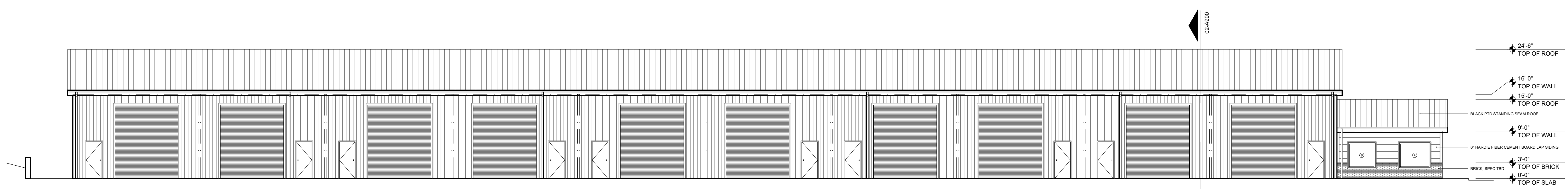
3



WEST ELEVATION

3/32"=1'-0"

2



EAST ELEVATION

3/32"=1'-0"

1

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REVISION		
NUMBER	DESCRIPTION	DATE
01	Schematic Design	05/11/2024
02	Planning/Zoning Review	07/09/2024
03		
04		
05		
06		
07		

DRAWING TITLE: ELEVATIONS	
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SCALE: AS NOTED	DATE: 05/11/2024
SEAL:	DRAWING NUMBER: A-200.00
SHEET: 5 OF 7	

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PROJECT
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HASTINGS, MI 49058

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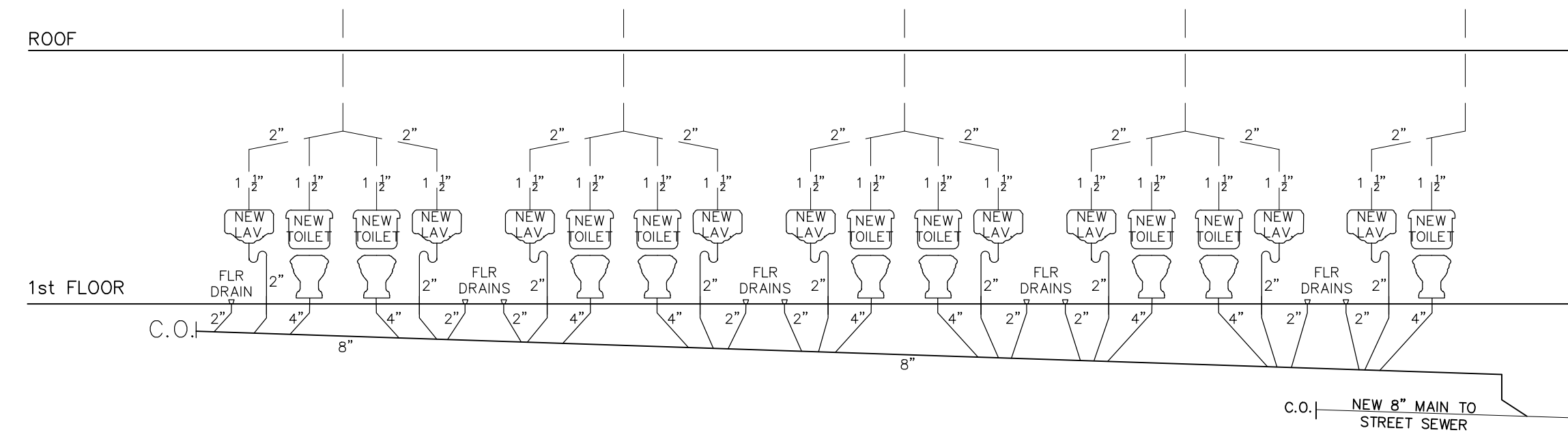
OWNER
Chad Stora
7736 BOWENS MILL RD
MIDDLETOWN, MI 49333

DESIGNER
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e: chad@storaconstruction.com
p: 616-250-9036

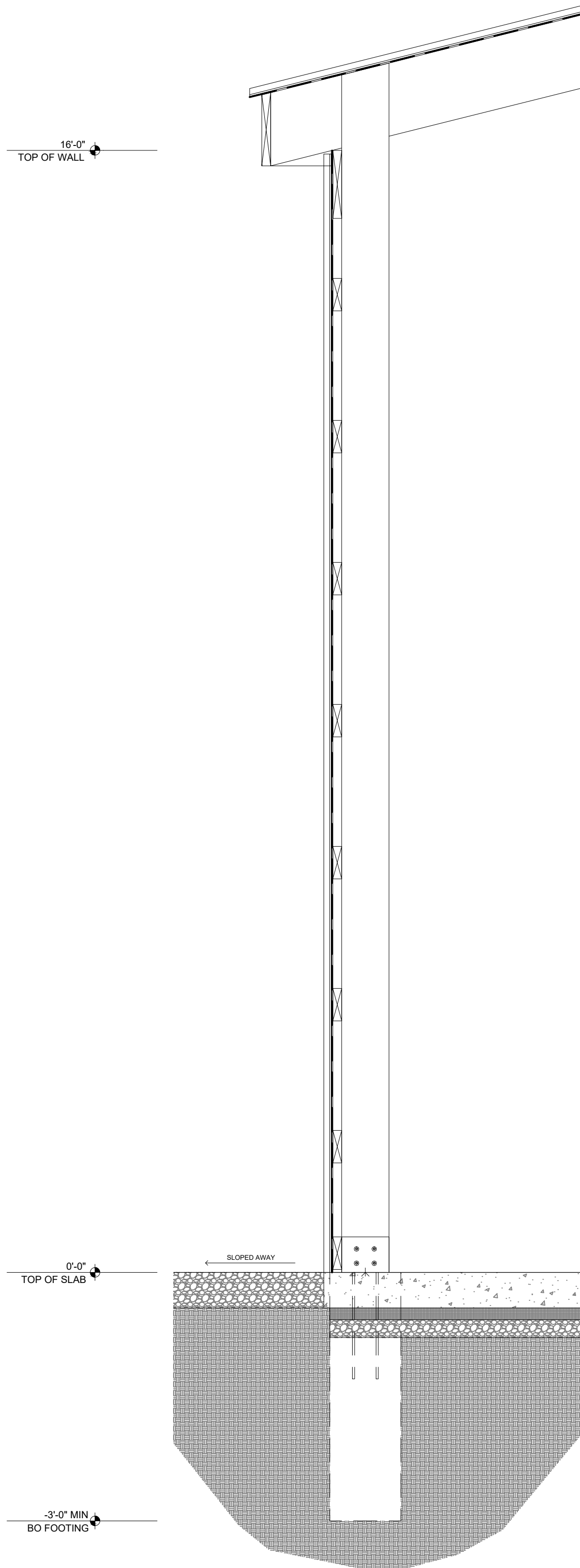
WINDOW SCHEDULE																
FLOOR	NO.	LOCATION	TYPE	WINDOW SIZE			MATERIAL		HEAD	JAMB	SILL	HW SET	FINISH		TYPE	NOTES
				WIDTH	HEIGHT	TH.	EXT	INT					EXT	INT		
1ST FLOOR	A	OFFICE	DBL H	4'-10"	5'-2"	-	FIBER	WD	-	-	-	-	TBD	TBD	PELLA IMPERVA	-
	B	OFFICE	DBL H	5'-11"	5'-2"	-	FIBER	WD	-	-	-	-	TBD	TBD	PELLA IMPERVA	-
	C	OFFICE	DBL H	2'-6"	5'-2"	-	FIBER	WD	-	-	-	-	TBD	TBD	PELLA IMPERVA	-
	D	OFFICE	DBL H	5'-0"	5'-2"	-	FIBER	WD	-	-	-	-	TBD	TBD	PELLA IMPERVA	-

DOOR SCHEDULE																		
FLOOR	NO.	LOCATION		TYPE	DOOR SIZE			MATERIAL		HEAD	JAMB	SILL	HW SET	FINISH		INT/EXT	TYPE	NOTES
		FROM	TO		WIDTH	HEIGHT	TH.	DOOR	FRAME					DOOR	FRAME			
1ST FLOOR	EX01	EXT	RECEPTION	SWING	3'-0"	6'-8"	-	ST	ST	-	-	-	-	-	-	EXT		-
	EX02	EXT	GARAGE	SWING	3'-0"	6'-8"	-	ST	ST	-	-	-	-	-	-	EXT	COMMANDER	x10 UNITS
	100	RECEPTION	OFFICE	SWING	2'-8"	6'-8"	-	WD	WD	-	-	-	-	-	-	INT		
	101	RECEPTION	OFFICE	SWING	2'-8"	6'-8"	-	WD	WD	-	-	-	-	-	-	INT		
	102	RECEPTION	OFFICE	SWING	2'-8"	6'-8"	-	WD	WD	-	-	-	-	-	-	INT		
	103	RECEPTION	OFFICE	SWING	2'-8"	6'-8"	-	WD	WD	-	-	-	-	-	-	INT		
	104	HALL	BATHRM	SWING	2'-8"	6'-8"	-	WD	WD	-	-	-	-	-	-	INT		
	105	HALL	CLOSET	BI SWING	4'-0"	6'-8"	-	WD	WD	-	-	-	-	-	-	INT		
		G001	EXT	GARAGE	OVERHD	12'-0"VF	14'-0"VF	-	ST	ST	-	-	-	-	-	-	EXT	C.H.I. OR APP EQ

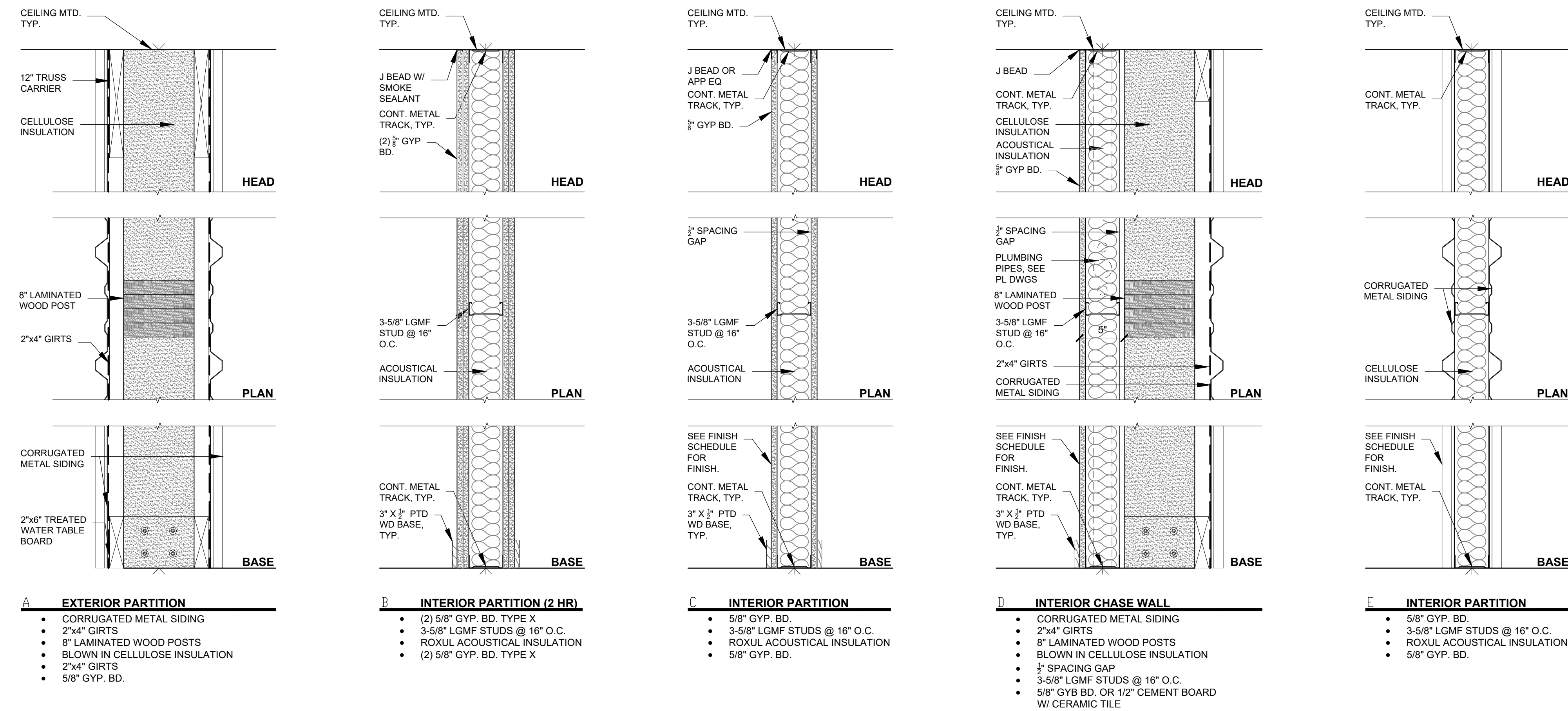
GENERAL DOOR NOTES:
01. ALL EXISTING OPENING SIZES TO BE VERIFIED IN FIELD.
02. REFER TO FLOOR PLANS FOR ALL DOOR LOCATIONS.
03. CONTRACTOR TO VERIFY THE QUANTITY OF ALL DOORS.
04. CONTRACTOR TO VERIFY HANDING OF ALL DOORS.
05. DOORS SHALL MEET THE REQUIREMENTS OF THE MI COMMERCIAL CODE AND ALL OTHER APPLICABLE STANDARDS.



PLUMBING RISER DIAGRAM 1/4"=1'-0" 3



TYPICAL WALL SECTION 3/4"=1'-0" 2



TYPICAL WALL TYPES 1 1/2"=1'-0" 1

REVISION		
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01	Schematic Design	05/11/2024
02	Planning/Zoning Review	07/09/2024
03		
04		
05		
06		
07		

PARTITION SCHEDULE & TYP WALL SECTION

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SCALE: AS NOTED DATE: 05/11/2024
SEAL: _____ DRAWING NUMBER: _____

A-900.00

SHEET: 7 OF 7

NOT FOR CONSTRUCTION

DRAWING LIST		07/10/2024	ISSUE FOR PLANNING				
ARCHITECTURAL							
G-001	GENERAL INFORMATION, PLOT PLAN, SURVEY	X					
DM-001	EXCAVATION & DEMOLITION PLAN	X					
A-001	SITE PLAN	X					
A-100	FIRST FLOOR AND ROOF PLANS	X					
A-110	FIRST FLOOR RCP AND LIGHTING SCHEDULE	X					
A-200	ELEVATIONS	X					
A-900	PARTITION TYPES, SCHEDULES, TYP SECTION DETAIL	X					

STORA STORAGE

1000 ENTERPRISE DR
HASTINGS, MI 49058

ISSUE FOR PLANNING REVIEW
07/10/2024

GENERAL NOTES

GENERAL CONSTRUCTION NOTES

- ALL WORK AND MATERIALS FURNISHED SHALL COMPLY WITH THE STATE OF MICHIGAN BUILDING CODE. THE STATE OF MICHIGAN FIRE CODE, THE STATE OF MICHIGAN REGULATIONS, THE REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, NATIONAL FIRE PROTECTIVE ASSOCIATION REQUIREMENTS AND ALL FEDERAL, STATE, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- ALL OF THE ARCHITECT'S DRAWINGS AND CONSTRUCTION NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE DRAWING SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DRAWINGS.
- FULL SIZE FOR LARGE SCALE DETAILS OR DRAWINGS SHALL GOVERN SMALL SCALE DRAWINGS WHICH THEY ARE INTENDED TO AMPLIFY.
- ALL MATERIALS REQUIRED FOR THE PERFORMANCE OF THIS WORK SHALL BE NEW AND OF THE BEST QUALITY OF THE KINDS SPECIFIED. THE USE OF OLD OR SECOND HAND MATERIALS IS STRICTLY FORBIDDEN, EXCEPT FOR LOCATIONS ON THE DRAWINGS THAT REFER TO REMOVAL AND RELOCATION OF MATERIALS OR EQUIPMENT. MATERIALS SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT ALL PRODUCT WARRANTIES.
- THE CONTRACTOR WILL WARRANTY ALL WORK AS PER MICHIGAN STATE REGULATIONS.
- THE PREMISES AND JOB SITE SHALL BE MAINTAINED IN A REASONABLY NEAT AND ORDERLY CONDITION AND KEPT FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH DURING THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL REMOVE ALL CRATES, CARTONS AND OTHER TRASH FROM THE WORK AREAS EACH DAY, AND SHALL BE RESPONSIBLE FOR ITS PROPER DISPOSAL. THE PREMISES SHALL BE PROTECTED THROUGHOUT CONSTRUCTION AND SHALL BE TURNED OVER IN SPOTLESS AND ORDERLY CONDITION. ALL FIXTURES AND EQUIPMENT WILL BE LEFT IN UNDAMAGED, BRIGHT, CLEAN AND POLISHED CONDITION.
- ALL PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE BUILDING, ITS OCCUPANTS, AND THE GENERAL PUBLIC DURING CONSTRUCTION.
- THE CONTRACTOR WILL ABIDE BY ALL RULES AND REGULATIONS SET FORTH BY THE BUILDING'S LEGAL MANAGEMENT AGENT NOTING PARTICULARLY ANY RESTRICTIONS ON NOISE, USE OF PUBLIC ENTRIES, USE OF POWER TOOLS, TIMELY AND PROPER DEBRIS REMOVAL, MATERIALS STORAGE AND ESTABLISHED WORKING HOURS.
- DIMENSIONS SHOWN ARE TO FINISHED FACE OF WALLS, FLOORS AND CEILINGS UNLESS OTHERWISE NOTED.

DEMOLITION NOTES

- CONTRACTOR SHALL DEMOLISH ALL ITEMS REQUIRED TO COMPLETE THE PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR LEGALLY DISPOSING OF ALL DEBRIS, SURPLUS MATERIALS AND RUBBISH RESULTING FROM DEMOLITION AND CONSTRUCTION.
- CONTRACTOR MUST EXERCISE EXTREME CAUTION DURING DEMOLITION PROCEDURES, AND IS RESPONSIBLE FOR PROVIDING ANY BRACING, SHORING, ETC. NECESSARY TO PREVENT DAMAGE TO THE BUILDING.
- REMOVALS AS SHOWN ON DRAWINGS SHOULD BE CAREFULLY EXECUTED SO AS TO PROTECT STRUCTURAL MEMBERS OR OTHER ELEMENTS OF CONSTRUCTION TO REMAIN.
- CONTRACTOR SHALL MAKE PROBES AT ALL PARTITIONS AND CEILINGS (IF REQUIRED) IN ADVANCE OF REMOVALS IN ORDER TO AVOID DEMOLITION OF ANY HIDDEN STRUCTURAL MEMBERS.

FIRE SAFETY RULES

- ALL BUILDING MATERIALS STORED AT THE CONSTRUCTION AREA AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY THE GENERAL CONTRACTOR.
- ALL MATERIALS ARE TO BE STORED IN AN ORDERLY MANNER.
- ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE CONTAINERS. SUCH MATERIALS ARE TO BE KEPT AWAY FROM ALL HEAT SOURCES AND STORED IN AN ADEQUATELY VENTILATED SPACE.
- ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE IS EXPOSED CONDUIT.
- ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS.
- THE CONTRACTOR WILL, AT ALL TIMES, MAKE SURE THAT THERE IS NO LEAKAGE OF NATURAL GAS IN THE BUILDING OR ANY FLAMMABLE GAS USED IN CONSTRUCTION.

DEMOLITION NOTES

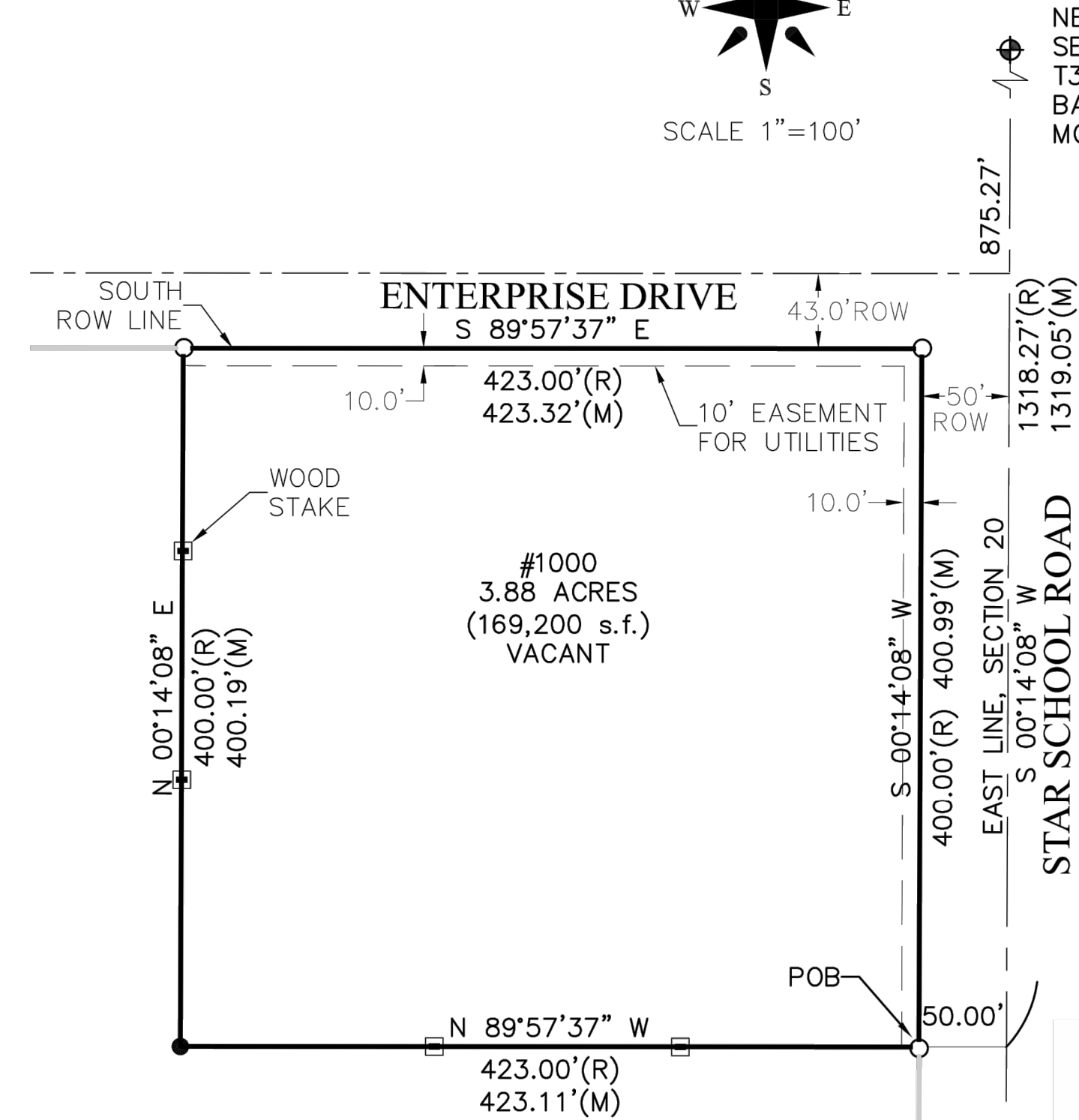
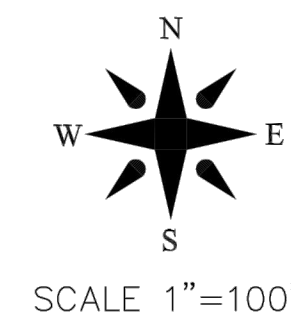
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BOUNDARY SURVEY

CLIENT: Chad Stora
7736 Bowens Mill Rd
Middleville, MI 49333

SITE: 1000 Enterprise Dr
Hastings, MI 49058

Legal Description:
Commencing at the Northeast corner of Section 20, Town 3 North, Range 8 West; thence South 00 degrees 14 minutes 08 seconds West, 1318.27 feet along the East line of said Section 20; thence North 89 degrees 57 minutes 37 seconds West, 50.00 feet to the Westerly Right of Way line of Star School Road and the true Point of Beginning; thence North 89 degrees 57 minutes 37 seconds West, 423.00 feet; thence North 00 degrees 14 minutes 08 seconds East, 400.00 feet to the Southerly Right of Way line of Enterprise Drive; thence South 89 degrees 57 minutes 37 seconds East, 423.00 feet along said Southerly line; thence South 00 degrees 14 minutes 08 seconds West, 400.00 feet along said Westerly Right of Way line of Star School Road to the Point of Beginning



I, Paul E. Schutter, a Professional Surveyor in the State of Michigan, hereby certify that I have surveyed the land described and that said land is a true representation of the survey performed showing all visible improvements. The survey was performed with a field closure of 1' in 5000' or greater. All dimensions are in feet and decimals thereof. Bearings are assumed.

SCHUTTER SURVEYING PLLC
7081 CHERRY VALLEY AVE. SE
CALEDONIA MI, 49316
616-570-4443
SchutterSurveying.com

PROJECT NO: 24028 3-8-20
DATE: April 10, 2024

THIS SURVEY WAS COMPLETED USING THE LEGAL DESCRIPTION PROVIDED AND SHOULD BE COMPARED WITH THE TITLE WORK FOR ANY ERRORS, DISCREPANCIES OR EASEMENTS OF RECORD.

- LEGEND**
- FENCE
 - FOUND CORNER
 - SET CORNER

SYMBOLS

- ROOM NUMBER: 101 | 1,978 SF
- MATERIAL FINISH TYPE: CO-5
- WALL TYPE: A
- DATUM SYMBOL: 2'-0"
- NORTH ARROW: N
- DETAIL CALL-OUT: 100
- GRID LINE MARKERS: 1, 2, 2
- INTERIOR ELEVATION SYMBOL: 4 A000 2
- EXTERIOR ELEVATION SYMBOL: 00 A000
- DETAIL SECTION: 00 A000
- SECTION: 00-A000
- FINISH FLOOR LEVEL: 15'-0" TOP OF SLAB
- FINISH SLAB LEVEL: 00-A000
- DOOR NUMBER: 102
- MATCH SYMBOL: 100
- BREAK LINE: 100
- (REVISION NUMBER): A
- MILLWORK TYPE: M-01
- FURNITURE TYPE: F01
- EQUIPMENT TYPE: E01
- SHELVING TYPE: S01
- GLAZING TYPE: 600V
- FLOOR TRANSITION STRIP: 100-1, 100-2
- EXIT SIGN: 100

MATERIAL SYMBOLS

- LOOSE GRAVEL
- COMPACTED EARTH
- CAST-IN-PLACE CONCRETE
- STEEL
- ALUMINUM
- BATT INSULATION
- GYPSUM WALL BOARD
- RIGID INSULATION
- PLYWOOD
- LUMBER
- WOOD BLOCKING
- MEDIUM DENSITY FIBER-BOARD
- GLASS AGGREGATE
- UNIT PAVERS
- RUBBER SEALANT
- CROSS LAMINATED TIMBER

ABBREVIATIONS

- A.F.F. ABOVE FINISHED FLOOR
- AGGR. AGGREGATE
- ALUM. ALUMINUM
- L. ANGLE
- APPROX. APPROXIMATE
- ARCH. ARCHITECTURAL
- A.D. AREA DRAIN
- ADJ. ADJACENT
- ASB. ASBESTOS
- @ AT
- BM. BEAM
- BLK. BLOCK
- BLKG. BLOCKING
- BD. BOARD
- B.D. BOTTOM OF
- BOT. BOTTOM
- BLDG. BUILDING
- CAB. CABINET
- CIP. CAST IN PLACE
- C.L. CENTER LINE
- CLKG. CAULKING
- CLG. CEILING
- CLR. CLEAR
- CTR. CENTER
- CLD. CLOSET
- CLT. CROSS LAMINATED TIMBER
- COL. COLUMN
- CONC. CONCRETE
- CONN. CONNECTION
- CONSTR. CONSTRUCTION
- CONT. CONTINUOUS
- CDRR. CORRIDOR
- CNTR. COUNTER
- DBL. DOUBLE
- DEPT. DEPARTMENT
- DET. DETAIL
- DIA. DIAMETER
- DIM. DIMENSION
- D.O. DOOR OPENING
- DN. DOWN
- DWG. DRAWING
- (E) EXISTING
- EA. EACH
- E. EAST
- ELEC. ELECTRICAL
- E.P. ELECTRICAL PANEL
- BOARD
- ELEV. ELEVATION
- EMER. EMERGENCY
- ENCL. ENCLOSURE
- EQ. EQUAL
- EQPT. EQUIPMENT
- EXIST. EXISTING
- EXP. EXPANSION
- E.J. EXPANSION JOINT
- EXPD. EXPOSED
- EXT. EXTERIOR
- F.D. FACE OF
- F.D.C. FACE OF CONCRETE
- F.D.F. FACE OF FINISH
- F.D.S. FACE OF STUDS
- FT. FEET
- F.A. FIRE ALARM
- F.PRF. FIRE PROOF
- F.B. FLAT BAR
- FL. FLOOR
- F.D. FLOOR DRAIN
- FLUOR. FLUORESCENT
- FT. FOOT
- FDN. FOUNDATION
- F.S. FULL SIZE
- FURR. FURRING
- FUT. FUTURE
- GALV. GALVANIZED
- GA. GAUGE
- GL. GLASS
- G.B. GRAB BAR
- GFR. GLASS FIBER REINFORCED CONCRETE
- GR. GRADE
- GND. GROUND
- GYP. GYPSUM
- G.W.B. GYPSUM WALLBOARD
- HC. ACCESSIBLE
- HDWD. HARDWOOD
- H.M. HOLLOW METAL
- HORIZ. HORIZONTAL
- H.B. HOSE BIBB
- HR. HOUR
- HWR. HOT WATER RETURN
- HWS. HOT WATER SUPPLY
- I.D. INSIDE DIAMETER
- IGU. INSULATED GLASS UNIT
- INSUL. INSULATION
- INT. INTERIOR
- JT. JOINT
- LAM. LAMINATE
- LAV. LAVATORY
- LT. LIGHT
- MAX. MAXIMUM
- MECH. MECHANICAL
- MTL. METAL
- MIN. MINIMUM
- MIR. MIRROR
- MISC. MISCELLANEOUS
- MTD. MOUNTED
- MUL. MULLION
- NOM. NOMINAL
- N. NORTH
- N.I.C. NOT IN CONTRACT
- N.T.S. NOT TO SCALE
- # NUMBER
- DBS. OBTUSE
- OFF. OFFICE
- O.C. ON CENTER
- O.H. OPPOSITE HAND
- DPNG. OPENING
- OPP. OPPOSITE
- O.D. OUTSIDE DIAMETER
- O.A. OVERALL
- PR. PAIR
- PTN. PARTITION
- PLAS. PLASTER
- P. LAM. PLASTIC LAMINATE
- PL. PLATE
- PLYWD. PLYWOOD
- PT. POINT
- PTD. PAINTED
- PRCST. PRECAST
- Q.T. QUARRY TILE
- RAD. RADIUS
- R.W.L. RAIN WATER LEADER
- REF. REFERENCE
- REFR. REFRIGERATOR
- RGTR. REGISTER
- REINF. REINFORCED
- REQ. REQUIRED
- RESIL. RESILIENT
- RM. ROOM
- R.O. ROUGH OPENING
- S.N.D. SANITARY NAPKIN DISPENSER
- S.D.R. SANITARY NAPKIN RECEPTACLE
- SCHED. SCHEDULE
- SCD. SEE CONSULTANT DRAWINGS
- SECT. SECTION
- SED. SEE ELECTRICAL DRAWINGS
- S.S. STAINLESS STEEL
- S.S.K. SERVICE SINK
- SHT. SHEET
- SH. SHELF
- SHR. SHOWER
- SIM. SIMILAR
- S.C. SOLID CORE
- S. SOUTH
- SMD. SEE MECHANICAL DRAWINGS
- SPD. SEE PLUMBING DRAWINGS
- SPEC. SPECIFICATION
- SQ. SQUARE
- SSD. SEE STRUCTURAL DRAWINGS
- SST. STAINLESS STEEL
- STD. STANDARD
- STL. STEEL
- STR. STORAGE
- STR. STRUCTURAL
- SUSP. SUSPENDED
- SYM. SYMMETRICAL
- THK. THICK
- T.O. TOP OF
- T.O.W. TOP OF WALL
- TREAD
- TYP. TYPICAL
- U.D.N. UNLESS OTHERWISE NOTED
- VERT. VERTICAL
- WT. WEIGHT
- W. WEST
- W/ WITH
- W/O WITHOUT
- W.D. WOOD
- WP. WATERPROOFING

1000 Enterprise

PROJECT
**1000 ENTERPRISE DR
HASTINGS, MI 49058**

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Chad Stora
7736 Bowens Mill Rd
Middleville, MI 49333

DESIGNER
STORA CONSTRUCTION
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p: 616-250-9036

REVISION		
NUMBER	DESCRIPTION	DATE
01	Schematic Design	05/11/2024
02	Planning/Zoning Review	07/09/2024
03		
04		
05		
06		
07		

DRAWING TITLE
GENERAL INFORMATION

DRAWN BY: CHECK BY:

SCALE: AS NOTED DATE: 05/11/2024

SEAL: DRAWING NUMBER:
G-001.00

SHEET: 1 OF 7

SURVEY N.T.S. 2

NOTES AND ABBREVIATIONS N.T.S. 1

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STRUCTURAL ENGINEER

MEP ENGINEER

LIGHTING DESIGNER

REVISION		
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01	Schematic Design	05/11/2024
02	Planning/Zoning Review	07/09/2024
03		
04		
05		
06		
07		

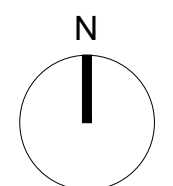
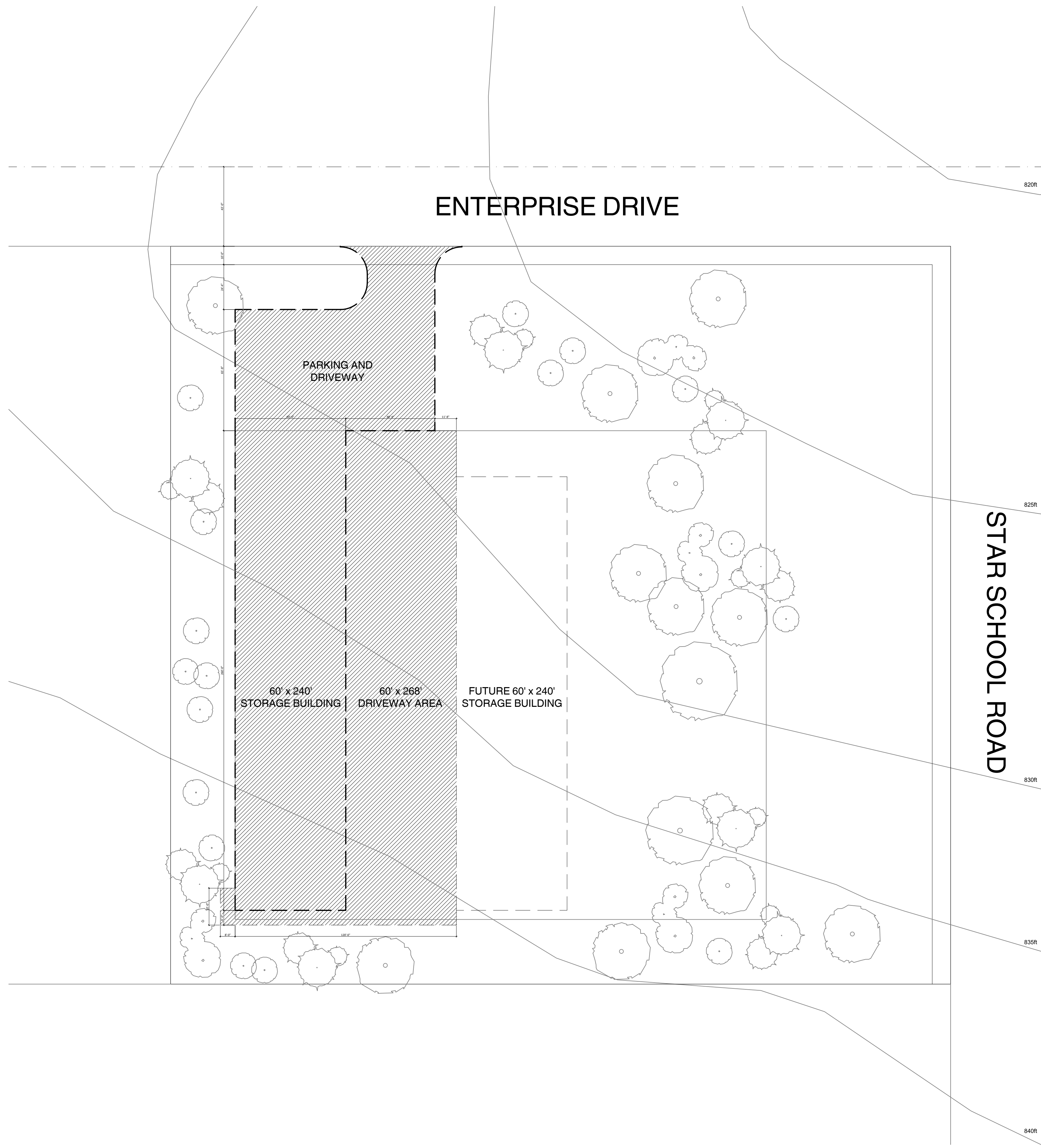
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STRUCTURAL ENGINEER

MEP ENGINEER

LIGHTING DESIGNER

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05		
06		
07		

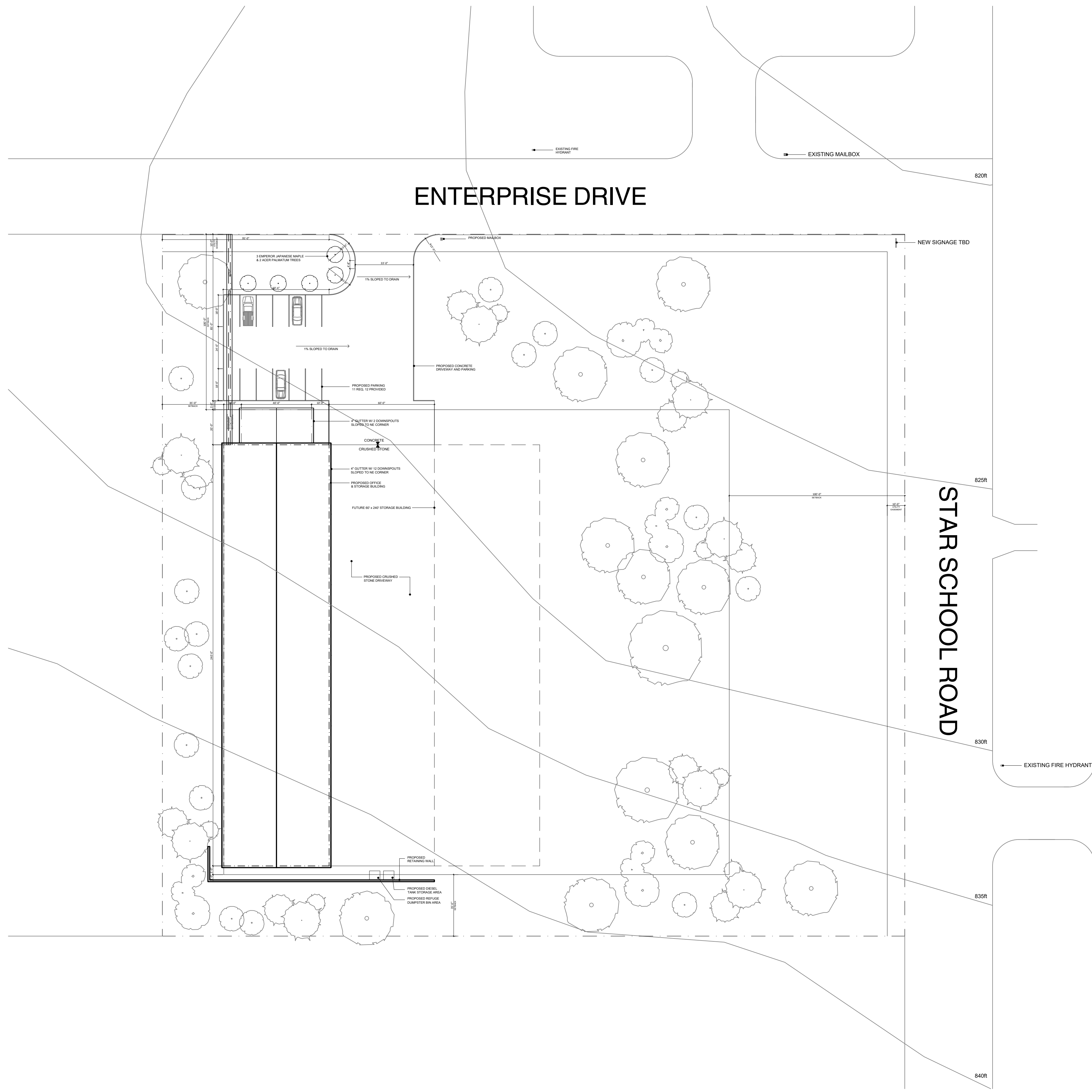
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SITE PLAN

DRAWN BY: _____ CHECK BY: _____
 SCALE: AS NOTED DATE: 05/11/2024

SEAL: _____ DRAWING NUMBER:

A-001.00

SHEET: 3 OF 7



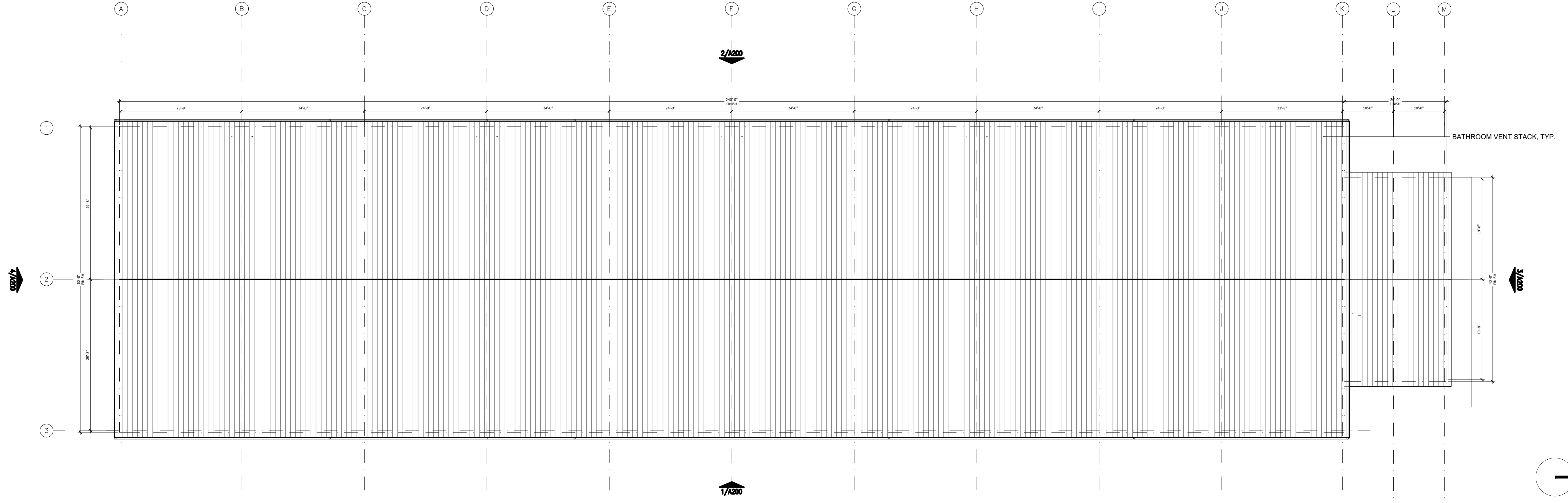
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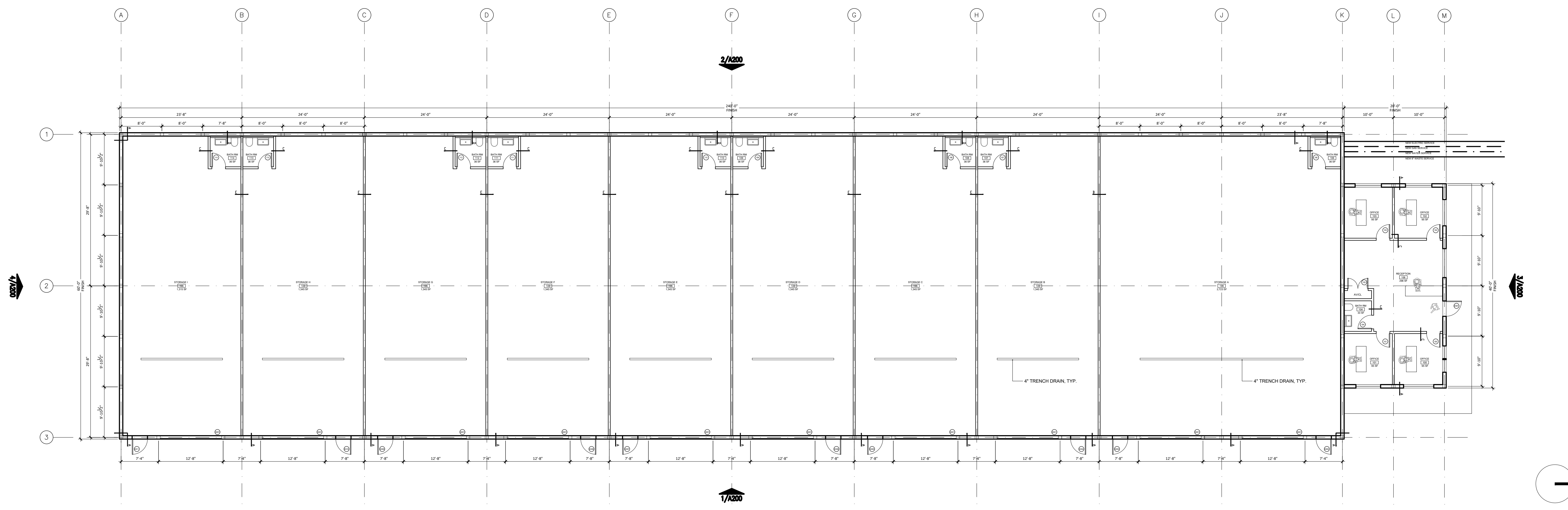
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ROOF PLAN 3/32"=1'-0" 2



FIRST FLOOR PLAN 3/32"=1'-0" 1

REVISION		
NUMBER	DESCRIPTION	DATE
01	Schematic Design	05/11/2024
02	Planning/Zoning Review	07/09/2024
03		
04		
05		
06		
07		

DRAWING TITLE:
FIRST FLOOR & ROOF PLANS

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SEAL: _____ DRAWING NUMBER

A-100.00

SHEET: 4 OF 7

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LIGHTING SCHEDULE

FIXTURE #	DESCRIPTION	MANUFACTURER MODEL REFERENCE	FINISH	LAMP SPECS	MOUNTING	LOCATION	SIZE	VOLTAGE [V]	COLOR TEMPERATURE	CONTROL REQUIREMENTS	EMERGENCY REQUIREMENTS	LOCATION / RM #	NOTES	RESPONSIBILITY
L1	CEILING MOUNTED	-	WHITE	-	-	INTERIOR	-	120V	3000K	-	N/A	-	-	-
L2	RECESSED	-	WHITE	-	-	INTERIOR	-	120V	3000K	-	N/A	-	-	-
L3	PENDANT	-	WHITE	-	-	INTERIOR	-	120V	2700K	-	N/A	-	-	-
L4	WALL MOUNTED SCONCE	-	BLACK	-	-	EXTERIOR	-	120V	2700K	-	N/A	-	DUSK/DAWN SENSORS	-

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PROJECT

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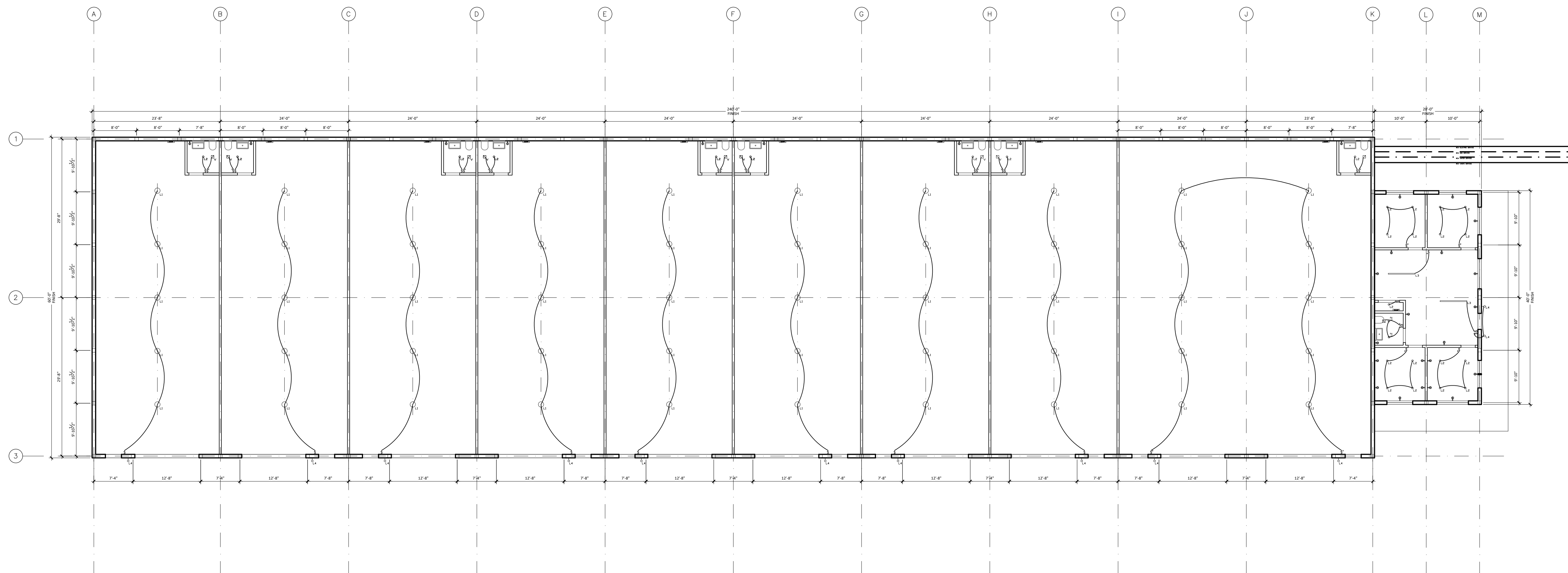
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02	Planning/Zoning Review	07/09/2024
03		
04		
05		
06		
07		

DRAWING TITLE:

FIRST FLOOR RCP & SCHEDULES

DRAWN BY:

SCALE: AS NOTED

SEAL:

CHECK BY:

DATE: 05/11/2024

DRAWING NUMBER

A-110.00

FIRST FLOOR RCP

3/32"=1'-0"

1

SHEET: 6 OF 7

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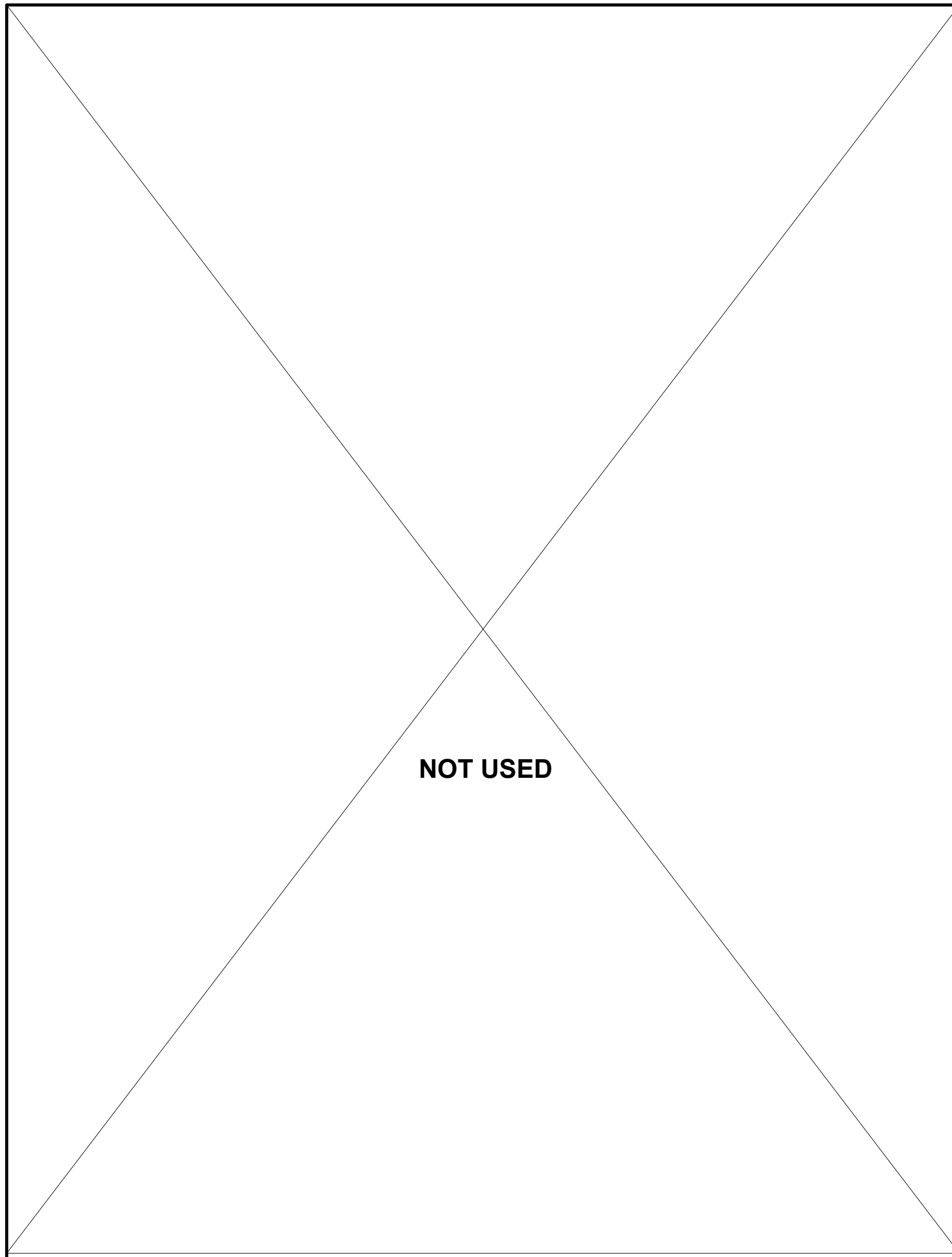
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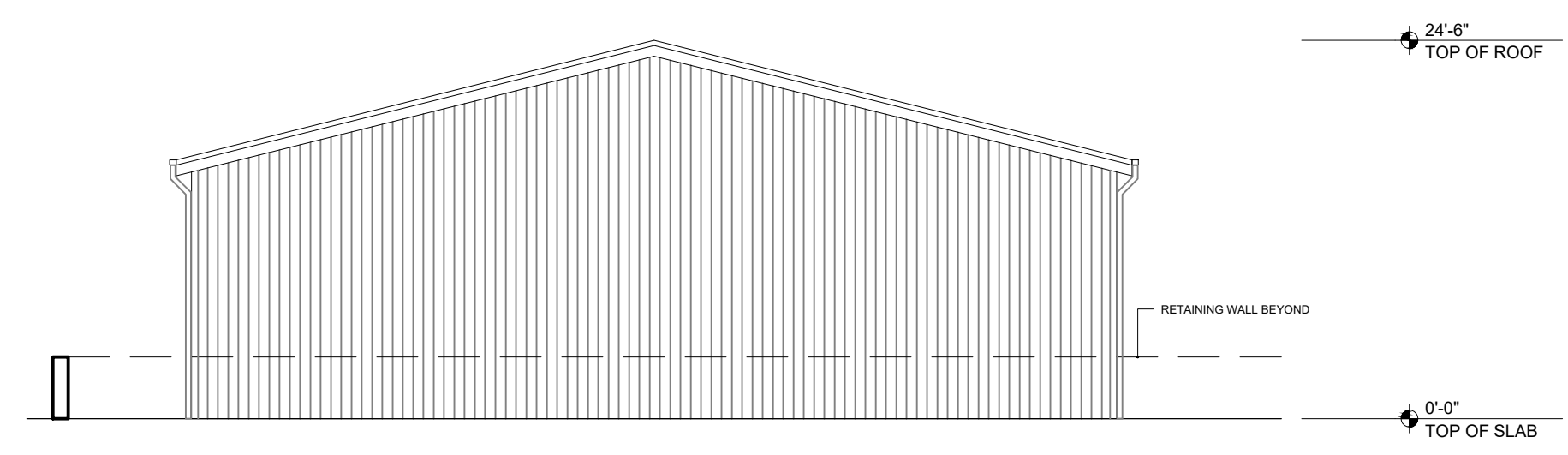
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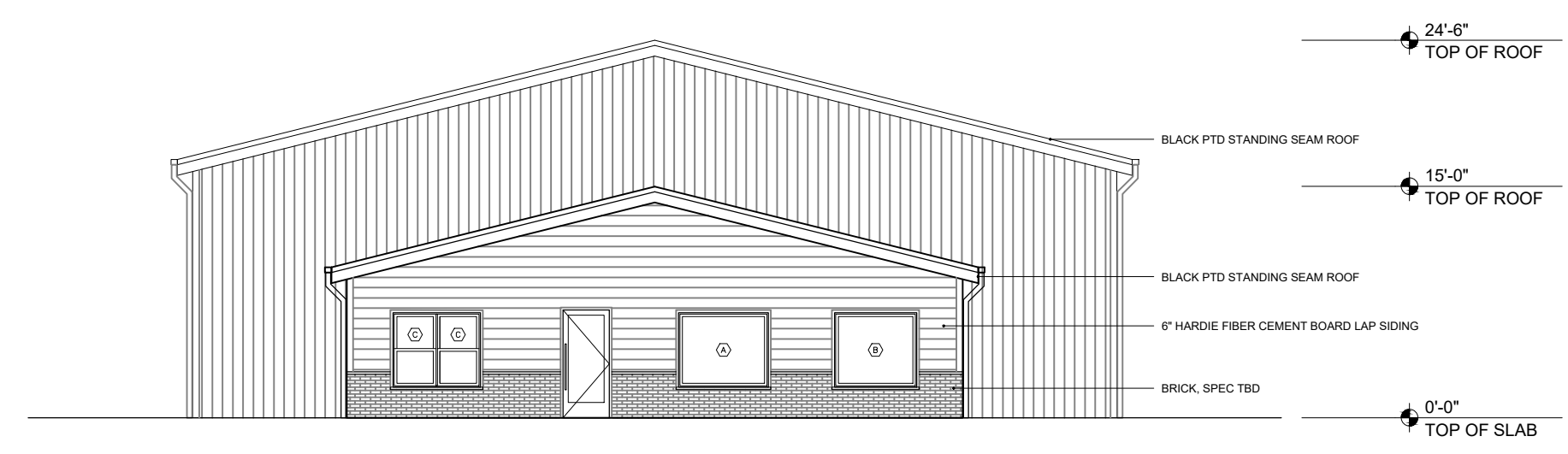
NOT USED



SOUTH ELEVATION

3/32"=1'-0"

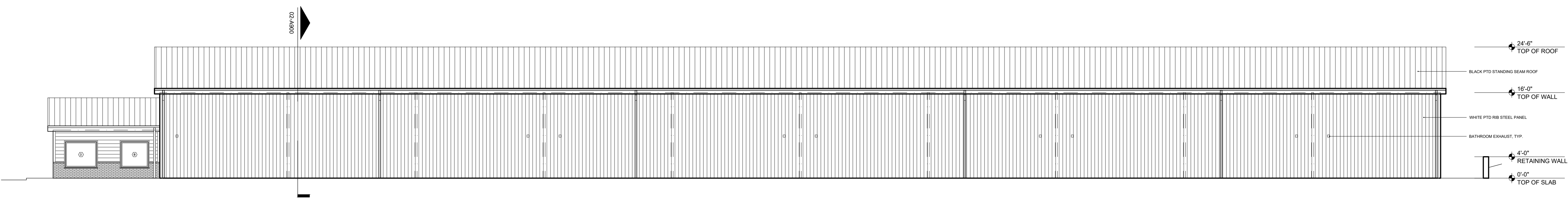
4



NORTH ELEVATION

3/32"=1'-0"

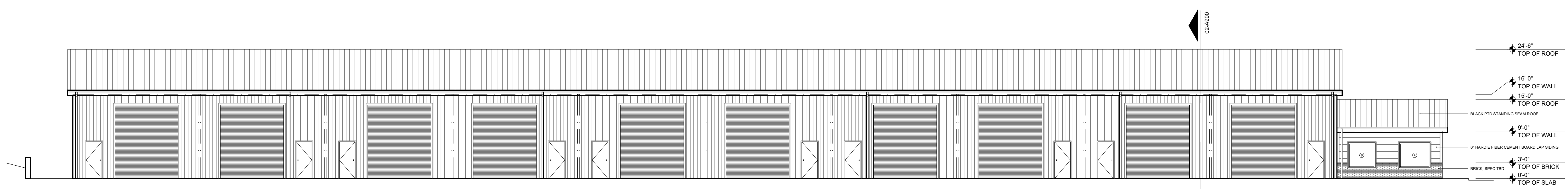
3



WEST ELEVATION

3/32"=1'-0"

2



EAST ELEVATION

3/32"=1'-0"

1

REVISION		
NUMBER	DESCRIPTION	DATE
01	Schematic Design	05/11/2024
02	Planning/Zoning Review	07/09/2024
03		
04		
05		
06		
07		

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ELEVATIONS

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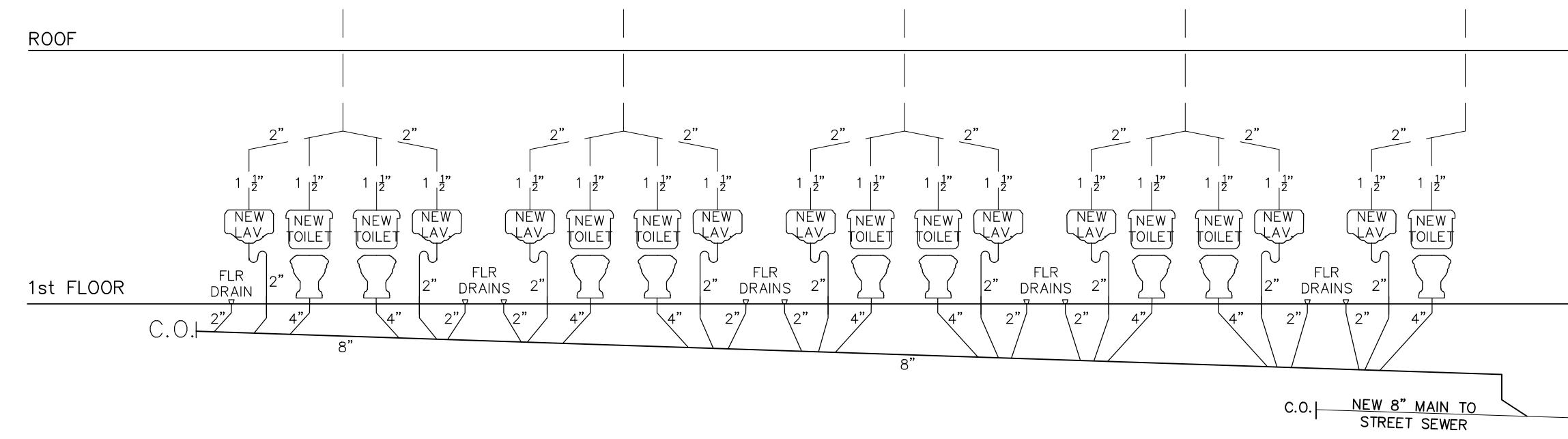
WINDOW SCHEDULE

FLOOR	NO.	LOCATION	TYPE	WINDOW SIZE			MATERIAL		HEAD	JAMB	SILL	HW SET	FINISH		TYPE	NOTES
				WIDTH	HEIGHT	TH.	EXT	INT					EXT	INT		
1ST FLOOR	A	OFFICE	DBL H	4'-10"	5'-2"	-	FIBER	WD	-	-	-	-	TBD	TBD	PELLA IMPERVA	-
	B	OFFICE	DBL H	5'-11"	5'-2"	-	FIBER	WD	-	-	-	-	TBD	TBD	PELLA IMPERVA	-
	C	OFFICE	DBL H	2'-6"	5'-2"	-	FIBER	WD	-	-	-	-	TBD	TBD	PELLA IMPERVA	-
	D	OFFICE	DBL H	5'-0"	5'-2"	-	FIBER	WD	-	-	-	-	TBD	TBD	PELLA IMPERVA	-

DOOR SCHEDULE

FLOOR	NO.	LOCATION		TYPE	DOOR SIZE			MATERIAL		HEAD	JAMB	SILL	HW SET	FINISH		INT/EXT	TYPE	NOTES
		FROM	TO		WIDTH	HEIGHT	TH.	DOOR	FRAME					DOOR	FRAME			
1ST FLOOR	EX01	EXT	RECEPTION	SWING	3'-0"	6'-8"	-	ST	ST	-	-	-	-	-	-	EXT		-
	EX02	EXT	GARAGE	SWING	3'-0"	6'-8"	-	ST	ST	-	-	-	-	-	-	EXT	COMMANDER	x10 UNITS
	100	RECEPTION	OFFICE	SWING	2'-8"	6'-8"	-	WD	WD	-	-	-	-	-	-	INT		
	101	RECEPTION	OFFICE	SWING	2'-8"	6'-8"	-	WD	WD	-	-	-	-	-	-	INT		
	102	RECEPTION	OFFICE	SWING	2'-8"	6'-8"	-	WD	WD	-	-	-	-	-	-	INT		
	103	RECEPTION	OFFICE	SWING	2'-8"	6'-8"	-	WD	WD	-	-	-	-	-	-	INT		
	104	HALL	BATHRM	SWING	2'-8"	6'-8"	-	WD	WD	-	-	-	-	-	-	INT		
	105	HALL	CLOSET	BI SWING	4'-0"	6'-8"	-	WD	WD	-	-	-	-	-	-	INT		
		G001	EXT	GARAGE	OVERHD	12'-0"VF	14'-0"VF	-	ST	ST	-	-	-	-	-	-	EXT	C.H.I. OR APP EQ

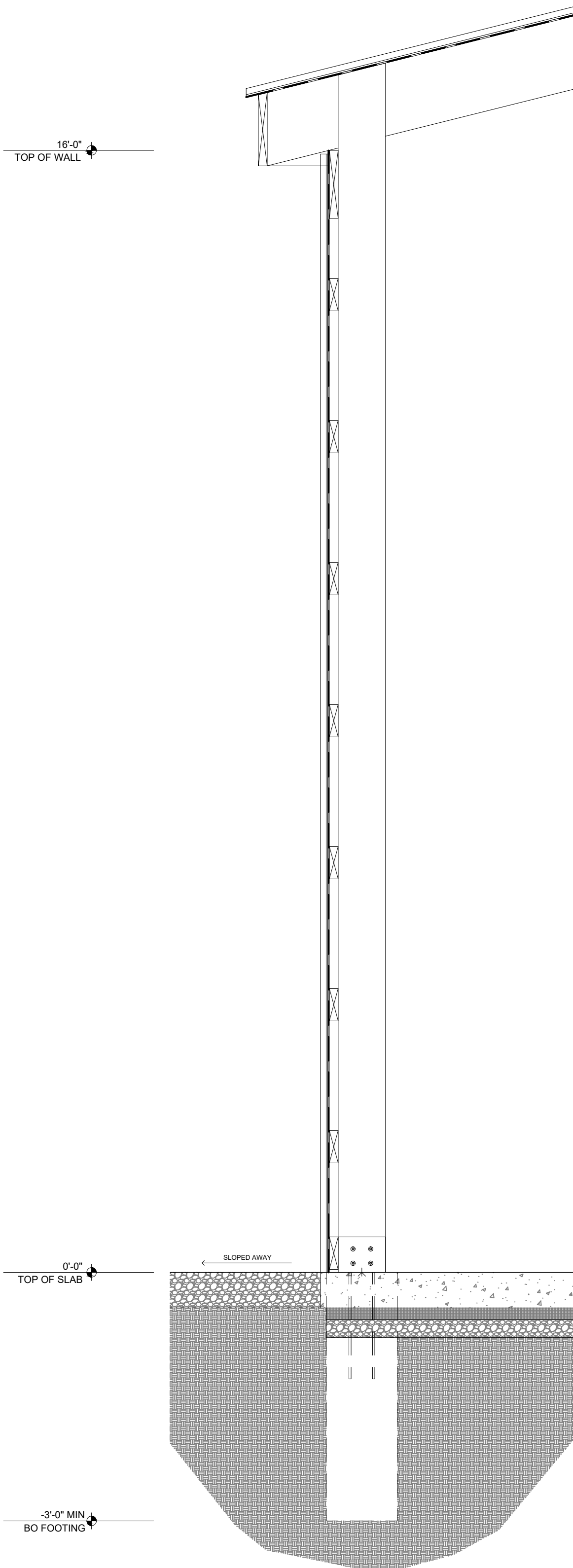
GENERAL DOOR NOTES:
01. ALL EXISTING OPENING SIZES TO BE VERIFIED IN FIELD.
02. REFER TO FLOOR PLANS FOR ALL DOOR LOCATIONS.
03. CONTRACTOR TO VERIFY THE QUANTITY OF ALL DOORS.
04. CONTRACTOR TO VERIFY HANDING OF ALL DOORS.
05. DOORS SHALL MEET THE REQUIREMENTS OF THE MI COMMERCIAL CODE AND ALL OTHER APPLICABLE STANDARDS.



PLUMBING RISER DIAGRAM

1/4"=1'-0"

3



TYPICAL WALL SECTION

3/4"=1'-0"

2

A EXTERIOR PARTITION

- CORRUGATED METAL SIDING
- 2"x4" GIRTS
- 8" LAMINATED WOOD POSTS
- BLOWN IN CELLULOSE INSULATION
- 2"x4" GIRTS
- 5/8" GYP. BD.

B INTERIOR PARTITION (2 HR)

- (2) 5/8" GYP. BD. TYPE X
- 3-5/8" LGMF STUDS @ 16" O.C.
- ROXUL ACOUSTICAL INSULATION
- (2) 5/8" GYP. BD. TYPE X

C INTERIOR PARTITION

- 5/8" GYP. BD.
- 3-5/8" LGMF STUDS @ 16" O.C.
- ROXUL ACOUSTICAL INSULATION
- 5/8" GYP. BD.

D INTERIOR CHASE WALL

- CORRUGATED METAL SIDING
- 2"x4" GIRTS
- 8" LAMINATED WOOD POSTS
- BLOWN IN CELLULOSE INSULATION
- 1" SPACING GAP
- 3-5/8" LGMF STUDS @ 16" O.C.
- 5/8" GYP. BD. OR 1/2" CEMENT BOARD W/ CERAMIC TILE

E INTERIOR PARTITION

- 5/8" GYP. BD.
- 3-5/8" LGMF STUDS @ 16" O.C.
- ROXUL ACOUSTICAL INSULATION
- 5/8" GYP. BD.

TYPICAL WALL TYPES

1 1/2"=1'-0"

1

REVISION

NUMBER	DESCRIPTION	DATE
01	Schematic Design	05/11/2024
02	Planning/Zoning Review	07/09/2024
03		
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06		
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DRAWING TITLE:

PARTITION SCHEDULE & TYP WALL SECTION

DRAWN BY:

CHECK BY:

SCALE: AS NOTED

DATE: 05/11/2024

SEAL:

DRAWING NUMBER

A-900.00

SHEET: 7 OF 7

NOT FOR CONSTRUCTION

City of Hastings
Planning Commission
Work Tasks for 2024
STATUS REPORT FOR AUGUST 2024

1. Consider development of “Complete Streets” ordinance or policy and review subdivision text regarding street width. Hold until after December 2023 Planning Commission meeting.
2. Review Section 90-883 (b)(4) pertaining to the maximum driveway width serving a single-family or two-family dwelling. Review 1st quarter of 2024.
3. Review zoning map for consolidation/simplification. Review to include, but not be limited to, Action Items identified in the GAP analysis of the Master Plan. **Planning Consultant Harvey to provide recommendation.**
4. Review Division 90-IX-6 Open Space Preservation Projects for lot size, cap limits, and other regulations. Master Plan action item. Open for discussion in 2024.
5. Review Section 90-425 and others requiring Planning Commission approval for parking reduction and Section 90-472(1) to consider increasing distance from municipal parking lots from 300 feet to 500 feet for off-street parking requirements. Master Plan action item.
6. Review live-work standards for occupancy and total square footage adjustments. Master Plan action item.
7. Review landscape buffer requirements between multiple family zoned lots and the B-1 district for waste of developable space. Master Plan action item.
8. Review Article 90-VII Planned Unit Development for complete amendment consideration.
9. Consider development of a Planned Residential District zoning classification to allow for higher density housing through smaller lot sizes and smaller dwelling square footage requirements. **Refer to Housing Committee for discussion.**
10. Review text regarding multi-family dwellings for possible modification. Master Plan action item.

11. Review single-family uses permitted by right in multiple family districts. Master Plan action item. **Planning Commission did not recommend eliminating single family homes by right in the Apartment Districts.**

Items highlighted in **green** are currently under consideration by the Planning Commission.

Items highlighted in **yellow** are currently under consideration by the Housing Committee.

Items highlighted in **red** require no further action at this time.

Site Plan Tracker

Project Name and Address	App and fees paid	Site plan and prints to staff	PC Agenda Date	PC Decision	Conditions for completion	COI
Meadowstone Mobile Home Park 1812 Lavender Drive	1.14.20	1.14.20	2.3.20	Approved	PED X Insulation from roadway Natural feature buffer	
Meadowtone Mobile Home Park 1812 Lavender Drive	1.13.22	1.13.22	5.2.22	Approved	Refuse disposal enclosure Landscaping Driveway width Elevations to be reviewed for façade Sidewalk installation prior to COI	
EWB 400 W. State Street	7.14.21	7.14.21	6.6.22	Approved	Monument sign on State - Removal Illumination must meet standards	
City of Hastings Parking Lot 8	8.19.22	NA	NA	Administrative	Fencing details Parking space width compliance Canopy tree type compliance	

Site Plan Tracker

Project Name and Address	App and fees paid	Site plan and prints to staff	PC Agenda Date	PC Decision	Conditions for completion	COI
Serenity Village 700 East Woodlawn	9.28.22	9.28.22	11.7.22	Approved	Landscaping Off Street Loading Ped. Access from sidewalk PC extends approval to 11-7-2024	
Tyden Lofts 326 W. State Street	10.17.22	10.17.22	11.7.22 12.5.22	12.5.22	Signage approved via permit Engineering approved by Director Tate	
City of Hastings and Barry County Central Dispatch 1037 East State Street	NA	3.27.23	5.1.23	5.1.23	Administrative approval of performance standards. Waiver of side setback requirement	
420 E Mill Street PUD 328 and 420 E Mill Street	5.30.23	5.31.23	7.3.23	7.3.23	City Council approval 24.5 units/acre 40 ft building height 5 feet front setback 30 ft building separation Delineation of phased development Lighting, landscaping, building exterior to be approved administratively. Acceptance of parking lot/100 yr FP DPS and Fire approval.	

Site Plan Tracker

Project Name and Address	App and fees paid	Site plans and prints to staff	PC Agenda Date	PC Decision	Conditions for Completion	COI
Meadowstone Apartments III 710 Barfield Drive	6.12.23	6.12.23	8.7.23	8.7.23	Exterior finish subject to administrative approval. Utility and storm management subject to approval by DPS Director	
Chris Nelson N6 Towing	12.7.23	12.7.23	1.2.24	1.2.24	Stormwater review	
Rusty Bible	2.9.24	2.9.24	3.4.24	3.4.24	Building elevations to be provided to Zoning Administrator DPS Review	

Zoning Map

City of Hastings, Michigan

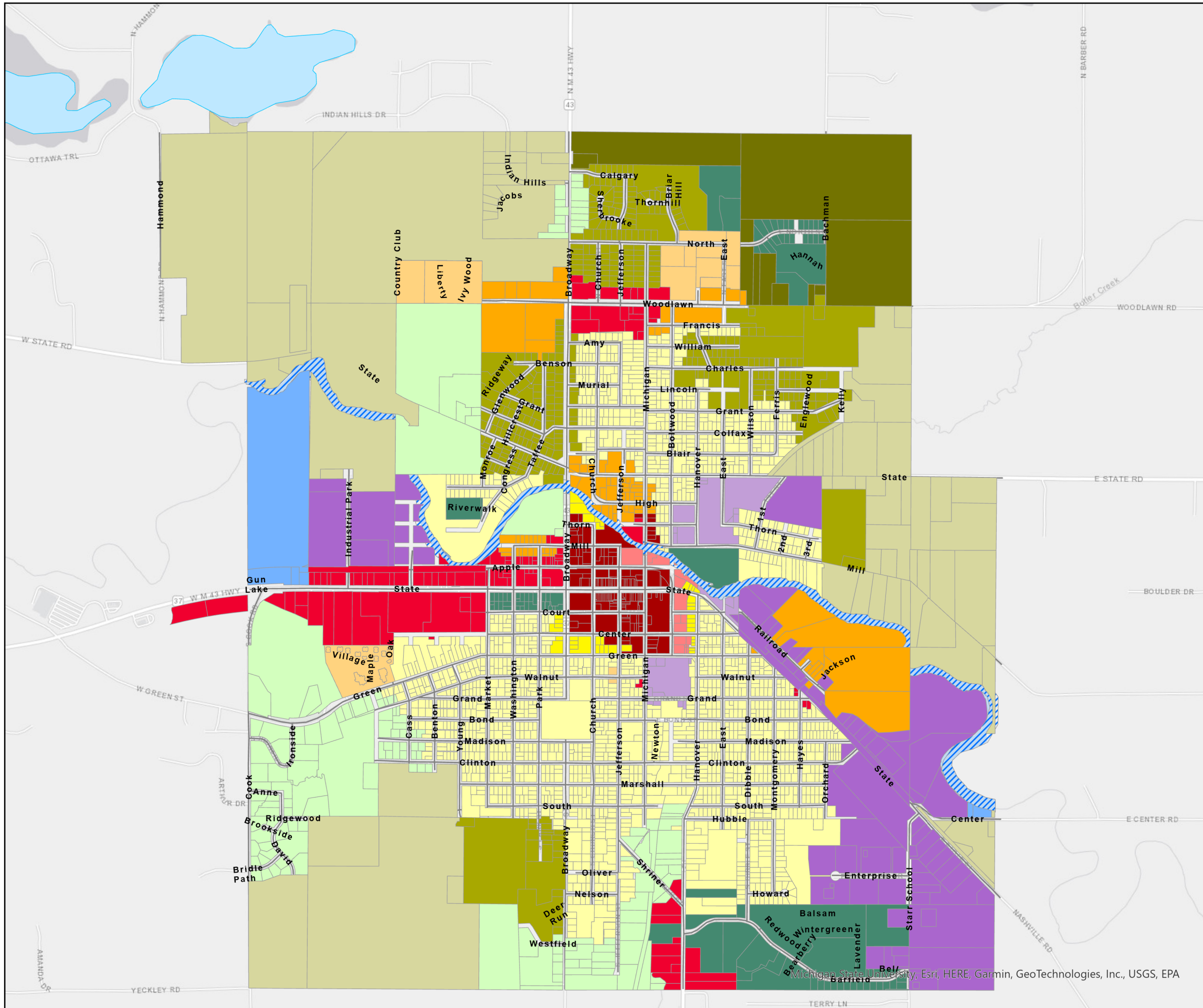
July 1, 2024

LEGEND

- R-R Rural Residential
- R-S Rural Suburban
- R-1 One Family Residential
- R-1A One Family Residential
- R-2 One and Two Family Residential
- R-3 Multiple Family, Low Density
- R-4 Multiple Family, High Density
- R-5 Mixed Use
- B-1 Central Business District
- B-2 Gateway Business
- B-3 Downtown Edge District
- D-1 Industrial
- D-2 Industrial
- PUD Planned Unit Development
- F-P Flood Plain District



Basemap Source: Michigan Center for Geographic Information, Version 17a.
Data Source: City of Hastings 2020. McKenna 2024.



Michigan State University, Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, EPA



MCKENNA

May 6, 2024

Planning Commission
City of Hastings
201 East State Street
Hastings, Michigan 49058

Master Plan: Zoning Plan

Future Land Use Category	Zoning District
Residential Growth A – 15,000 sq ft lots	R-S Suburban Residential
Residential Growth B – 9,0000 sq ft lots	R-1 District R-1 A District
Residential Growth – Multiple Family	A-1 District A-2 District R-D District
Core Neighborhood	R-2 District A-1 District
Modern Neighborhood	R-1 District R-M District
Neighborhood Center	B-5 A-O O
Downtown Edge	B-3 B-5 A-O O
Downtown Core	B-1
Gateway Commercial	B-2 B-4 B-6 O

Zoning Districts: Proposed Consolidation Plan

- **Reduce Existing 19 Zoning District to 13 Zoning Districts**

~~R-R Rural Residential District (1 d.u./acre)~~

R-S Suburban Residential (SF – 15,000 sq ft – 2.9 d.u./acre)

R-1 One-Family Residential (SF – 9900 sq ft – 4.4 d.u./acre)

R-1A One-Family Residential (per Hastings Joint Land Use Plan)

R-2 One-Family & **Two-Family** Residential (SF, 2F – 8000 sq ft – 5.45 d.u./acre)

R-D Duplex Apartment (SF, 2F, 3-4F – 9900 sq ft – 4.4 d.u./acre)

R-3 Multiple Family

A-2 Apartment Edge (south & west of CBD – SF, 2F, 3-4F, MF – 6-8 d.u./acre)

A-1 Apartment (SF, 2F, MF – 6600 sq ft – 14 d.u./acre)

R-4 Multiple Family

A-O Apartment & Office (SF, 2F, MF – 6600 sq ft – 14 d.u./acre)

O Office

R-5 Mixed Use

B-5 Mixed Use District (North) – SF, 2F, Offices w/ design standards

R-M Mobile Home Park

B-1 Central Business (CBD)

B-2 General Business (M-37 & M-43)

B-4 West Business (B-2 w/ design standards)

B-2 Gateway

B-6 South Business (M-37)

Business

B-3 Downtown Edge (attached SF, office, commercial – edge of CBD)

D-1 Industrial

D-2 Industrial





Planning Commission Agenda Item Memorandum

To: David Hatfield and Planning Commission

From: Dan King

Subject: R1-A One Family Residential Zoning District

Meeting Date: August 5, 2024

Background Information:

The R1-A One Family Residential zoning district was adopted by Ordinance 447 on July 27, 2009. The creation of the R1-A district was in direct response to the jointly adopted Hastings Area Plan between the City of Hastings, Rutland Township, Hastings Township, and Barry County. The joint plan was adopted to guide future development in a manner consistent with the common goals and objectives of the municipalities. The plan set forth recommendations on future roads, utility extensions, and land use.

The purpose of the R1-A zone was to provide zoning regulations which were common to each municipality, coordinate land use along shared boundaries to achieve compatibility in density, use, function, and design, provide for a connected system of streets and sidewalks, and to assure public utilities were provided.

Unlike all other zoning ordinances, the standards and regulations of the R1-A district may not be amended without the written approval of all signatories of the Hastings Area Joint Planning Agreement.